

# SAUNA GUARD

LARAWAY AVENUE WEST OF WOLF ROAD

FRANKFORT, IL

FOR:

# UNLIMITED MASONRY & CONSTRUCTION, INC.

9233 GULFSTREAM ROAD

FRANKFORT, IL 60606



## LOCATION MAP

NO SCALE



## INDEX TO DRAWINGS

CURRENT REVISIONS

NO.	DATE	SHEET	DESCRIPTION
T1			PROJECT DATA, DRAWING INDEX, NOTES & SPECIFICATIONS
C1			COVER SHEET
C2			EXISTING TOPOGRAPHY
C3			SITE LAYOUT PLAN
C4			SITE GRADING PLAN
C5			SITE UTILITY PLAN
C6			SITE EROSION CONTROL PLAN
C7			STORM WATER POLLUTION PREVENTION PLAN
C8			CONSTRUCTION SPECIFICATIONS
C9			CONSTRUCTION DETAILS
C10			CONSTRUCTION DETAILS
A1			SITE PLAN, DETAILS & NOTES
A1.1			SITE DETAILS & TRASH ENCLOSURE DETAILS
A2			FLOOR PLAN, MALL TYPES, DETAILS & NOTES
A2.1			MALL DETAILS, NOTES
A2.2			INTERIOR ELEVATIONS, ENLARGED FLOOR PLAN, TOILET ACCESSORIES SCHEDULE
A3			REFLECTED CEILING PLAN, DETAILS & NOTES
A4			EXTERIOR ELEVATIONS, EXTERIOR FINISH LIST & DETAILS
A5			MALL SECTIONS
A5.1			MALL SECTIONS, MASONRY NOTES
A5.2			DETAILS
A6			ROOF PLAN, ROOFING SPECS, DOOR SCHEDULE, FINISH SCHEDULE
S1			FOUNDATION PLAN, DETAILS & NOTES
S2			ROOF FRAMING PLAN, DETAILS, NOTES
S2.1			WALL SECTIONS, JOIST DIAGRAMS
M1			HVAC PLAN
M2			ROOF AND GAS PIPING PLAN
M3			HVAC SCHEDULES AND NOTES
M4			HVAC VENT SCHEDULES
P1			PLUMBING PLAN, SCHEMATIC DIAGRAMS, DETAILS
P2			PLUMBING DETAILS, NOTES, SCHEDULES
E0.1			ELECTRICAL SITE PLAN, SITE PLAN DETAILS
E0.2			PHOTOMETRIC PLAN, PHOTOMETRIC DETAILS
E1			ELECTRICAL RISER DIAGRAM, NOTES, SCHEDULES
E2			ELECTRICAL POWER PLAN, SHEET NOTES, SCHEDULES
E3			ELECTRICAL LIGHTING PLAN, SHEET NOTES, ELEVATIONS
E4			ELECTRICAL ROOF PLAN, DETAILS, SCHEDULES
E5			ELECTRICAL CONTROL PLAN, DETAILS
E6			ELECTRICAL SPECIFICATIONS

CIVIL & LANDSCAPE SHEETS ALWAYS CONFORM WITH CIVIL DRAWINGS WITH CIVIL ENGINEER AND LANDSCAPE ARCHITECT.

## SPECIFICATIONS

THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO ILLUSTRATE AND DESCRIBE A COMPLETE JOB IN EVERY RESPECT. CONTRACTORS ARE CAUTIONED TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS ON THE PREMISES AS, AFTER CONTRACTS ARE SIGNED, NO EXTRAS WILL BE ALLOWED FOR ANY LABOR AND/OR MATERIALS NECESSARY TO COMPLETE THE WORK.

## CONDITIONS

- THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," AIA DOCUMENT A-201, LATEST EDITION, ARE ADOPTED AS PART OF THE CONTRACT DOCUMENTS AND SHALL GOVERN ALL DIVISIONS AND SECTIONS OF THE SPECIFICATIONS AND THE WORK.
- THE WORK, INCLUDING LABOR AND MATERIALS, SHALL COMPLY WITH THE FOLLOWING:
  - THESE DRAWINGS & SPECIFICATIONS
  - ALL APPLICABLE CODES, ORDINANCE AND REGULATIONS, STATE AND LOCAL.
  - MANUFACTURER'S SPECS, AND TRADE ASSOCIATION RECOMMENDATIONS.
  - INDUSTRY ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.
- DRAWINGS & SPECIFICATIONS ARE, AND SHALL BE, CONSIDERED AS COOPERATIVE AND CONSISTENT. WORK MENTIONED OR INDICATED ON ONE AND NOT THE OTHER SHALL BE INCLUDED AND SUPPLIED AS THOUGH FULLY COVERED BY BOTH. IN CASE OF OVERLAPPING OR CONFLICTING REQUIREMENTS, THE MOST STRINGENT (GENERALLY MOST COSTLY) APPLIES AND WILL BE ENFORCED. ONLY ITEMS DEFINITELY NOTED "NOT IN CONTRACT," "N.I.C.," "BY OTHERS," OR "BY OWNER," ARE NOT INCLUDED IN THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERINTENDENCE OF THE JOB AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL THE WORK OF ALL TRADES TO SEE THAT IT IS BEING PROVIDED IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES OCCUR IN ANY OF THE WORK.
- THE CONTRACTOR SHALL SUBMIT A SWORN CONTRACTOR'S AFFIDAVIT INCLUDING THE NAMES OF ALL PARTIES FURNISHING MATERIALS AND LABOR, AND SHALL ALSO SUBMIT PARTIAL AND FINAL WAIVERS. SUB-CONTRACTORS SHALL SUBMIT PARTIAL WAIVERS OF LIEN, OR FINAL WAIVERS, IN AMOUNT AT LEAST EQUAL TO THE NET PAYOUT REQUEST.
- THE CONTRACTOR SHALL PURCHASE INSURANCE PRODUCTS IN THE FOLLOWING MANNER AND AMOUNTS:
  - INCLUDING COMPREHENSIVE GENERAL, CONTRACTUAL & AUTO LIABILITY INSURANCE, BODILY INJURY, PROPERTY DAMAGE AND UMBRELLA LIABILITY COVERAGE PER PARAGRAPHS BELOW.
  - SUBMIT THREE COPIES OF CERTIFICATION OF EACH INSURANCE.
  - HOLD HARMLESS THE OWNER & ARCHITECT FOR DAMAGE TO PROPERTY AND/OR PERSONNEL INJURIES ARISING FROM THE WORK, FROM ALL CLAIMS OR LOSS.
  - IMMEDIATELY PROVIDE US WITH A CERTIFICATE OF INSURANCE INCLUDING WORKER'S COMPENSATION INSURANCE IN THE REQUIRED STATUTORY AMOUNT AND FURTHER EVIDENCING LIABILITY INSURANCE THAT NAMES UNLIMITED MASONRY AND CONSTRUCTION AND OWNER OF RECORD AS ADDITIONAL INSUREDS, ON A PRIMARY, NON-CONTRIBUTORY BASIS, UNDER AN OCCURRENCE BASED POLICY IN AN AMOUNT OF NOT LESS THAN \$2,000,000 EACH OCCURRENCE WITH AN AGGREGATE LIMIT OF \$4,000,000 AND AN EXCESS OCCURRENCE BASED POLICY PROVIDING NOT LESS THAN \$3,000,000 OF UMBRELLA LIABILITY COVERAGE, AND WITH EACH OF SUCH LIABILITY INSURANCE POLICIES INCLUDING WAIVER OF SUBROGATION ENDORSEMENT IN FAVOR OF SUCH ADDITIONAL INSUREDS, ALONG WITH DESIGNATING THE LOCATION AND NAME OF THE PROJECT UNDER DESCRIPTION ON THIS CERTIFICATE. PAYMENT FOR YOUR FIRST BILLING WILL NOT BE RELEASED UNTIL A CORRECT AND COMPLETE CERTIFICATE IS RECEIVED. ALSO, YOU ARE REQUIRED TO DEFEND, INDEMNIFY AND HOLD HARMLESS & HOLD DEVELOPERS CORPORATION FROM ANY LOSS, DAMAGE, COST OR EXPENSE (INCLUDING REASONABLE ATTORNEYS' FEES) DUE TO ANY BREACH OF YOUR SUBCONTRACT, OR NEGLIGENCE, BY YOU OR YOUR AGENTS, EMPLOYEES OR SUB-SUBCONTRACTORS.
- ON SITE VERIFICATION OF ALL DIMENSION & CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DRAWINGS ARE REASONABLY ACCURATE FOR FIGURING PURPOSES ONLY. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR QUESTIONS ARISING FROM JOB CONDITIONS OR THESE DRAWINGS.
- DO NOT SCALE DRAWINGS.
- COST OF WORK SHALL INCLUDE ALL SALES TAXES. CONTRACTOR SHALL PAY FOR PERMIT.
- SUBSTITUTIONS AND EXTRAS ONLY FOR WORK APPROVED IN WRITING BY OWNER AND ARCHITECT.
- THE OWNER WILL MAINTAIN A BUILDER'S RISK FIRE INSURANCE POLICY WITH EXTENDED COVERAGE PLUS VANDALISM AND MALICIOUS MISCHIEF COVERAGE.
- CONTRACTOR SHALL REMOVE ALL DEBRIS AND LEAVE THE JOB BROOM CLEAN.
- THE WORK SHALL BE GUARANTEED FOR ONE YEAR FROM COMPLETION AND APPROVAL DATE UNLESS NOTED OTHERWISE HEREIN.

## GENERAL NOTES

- THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," AIA DOCUMENT A-201, LATEST EDITION, ARE ADOPTED AS PART OF THE CONTRACT DOCUMENTS AND SHALL GOVERN ALL DIVISIONS AND SECTIONS OF THE SPECIFICATIONS AND THE WORK.
- THE CONTRACTOR SHALL INSPECT AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND REPORT ANY DISCREPANCIES FROM THESE DRAWINGS TO THE ARCHITECT.
- THE MEASUREMENTS ON THESE DRAWINGS ARE REASONABLY ACCURATE FOR THE PURPOSE OF FIGURING. HOWEVER, IN THE EXECUTION OF WORK ON THE JOB, EACH CONTRACTOR IS TO VERIFY ALL DIMENSIONS WITH ACTUAL CONDITIONS.
- DO NOT SCALE DRAWINGS.
- INTERIOR PARTITIONS SHALL BE CONSTRUCTED OF METAL STUDS SIZE AND SPACING NOTED ON DRAWINGS WITH 5/8" FIRE CODE "G" GYPSUM BOARD BOTH FACES OR CONCRETE BLOCK AS NOTED ON THE DRAWINGS.
- ALL WALL DIMENSIONS SHOWN ON PLANS ARE NOMINAL DIMENSIONS UNLESS OTHERWISE NOTED.
- PROVIDE HEADERS, BLOCKING AND/OR FRAMING AS REQUIRED FOR SUPPORT OF ALL ELECTRICAL FIXTURES, SHELVS, DUCT REGISTERS AND MILLWORK.
- ALL INTERIOR FINISHES SHALL COMPLY WITH CLASS 2 FLAME SPREAD OF 26-75.
- N/A
- ALL EXIT DOOR HARDWARE TO BE KEYLESS IN THE DIRECTION OF EGRESS.
- PROVIDE CONTROL JOINTS IN DRYWALL FURRING SYSTEMS WHERE CONTROL JOINTS OCCUR IN THE EXTERIOR WALL, AND AT MAXIMUM 30 FEET ON CENTER IN BOTH DRYWALL PARTITIONS AND FURRING SYSTEMS.

## FIRE DEPARTMENT NOTES:

- MINIMUM BA-40BC FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 10, PROPERLY TAGGED AND MOUNTED, PER IFC 906. FINAL LOCATIONS TO BE VERIFIED WITH FIRE DEPT.
- THE BUILDING OWNER SHALL PROVIDE A KNOX KEY LOCK BOX FOR FIRE DEPT. ACCESS. FINAL LOCATION AS DIRECTED BY FRANKFORT FIRE PROTECTION DISTRICT. THE OWNER SHALL ALSO PROVIDE A NEW KEY AND NOTIFY THE FIRE DEPT. WHEN A LOCK IS CHANGED OR RE-KEYED.

## GENERAL SCOPE OF WORK:

- SITING, BUILDING SHELL AND INTERIOR TENANT BUILDOUT TO TURNKEY CONDITIONS U.N.O.

## ENERGY CODE COMPLIANCE

THE PROJECT IS TO CONFORM WITH THE REQUIREMENTS OF THE ABOVE-LISTED ENERGY CODE. CONTRACTOR IS TO REVIEW THE STANDARDS AND SPECIFICATIONS WITHIN THE APPROVED COMCHECK AND COMPLY WITH ALL REQUIREMENTS.

## ACCESSIBILITY NOTES

THE PROJECT SITE, BUILDING ELEMENTS (ACCESSIBLE PATH, ENTRANCE, DOOR SWINGS, TOILET ROOMS ETC.) SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE 2018 ILLINOIS ACCESSIBILITY CODE.

## ARCHITECT / PLUMBING DESIGN

KMA & ASSOCIATES, ARCHITECTS  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847) 945-8869  
PRINCIPAL DESIGN PROFESSIONAL - ERIC L. SMITH  
IL PROFESSIONAL DESIGN FIRM #184-008865-0001

## STRUCTURAL ENGINEER

DMA GROUP  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847) 945-8869  
PRINCIPAL DESIGN PROFESSIONAL - DAVID I. MANGURTEN  
ILLINOIS LICENSED STRUCTURAL ENGINEER #81-3675

## CIVIL ENGINEER / LANDSCAPE ARCHITECT

JOSEPH A. SCHUDT & ASSOCIATES  
9455 ENTERPRISE DRIVE  
MOKENA, ILLINOIS 60448  
(708) 720-1000  
PRINCIPAL DESIGN PROFESSIONAL - KEVIN GOHACKI

## MECHANICAL ENGINEER

UNITED ENGINEERING, INC.  
1006 GENEVA STREET  
SHOREWOOD, ILLINOIS 60431  
(815) 744-1010  
PRINCIPAL DESIGN PROFESSIONAL - GARY G. POWERS  
ILLINOIS LICENSED PROFESSIONAL ENGINEER #062-049185  
ILLINOIS PROFESSIONAL DESIGN FIRM #184.002255

## ELECTRICAL DESIGN CONSULTANT

WOLF CONSULTING  
505 ELM AVENUE  
ELMHURST, ILLINOIS  
(630) 833-8939  
PRINCIPAL ELECTRICAL DESIGNER - MARK R. WIEGEL

## LANDSCAPE ARCHITECT

PAMELA SELF LANDSCAPE ARCHITECTURE  
202 SOUTH COOK STREET, SUITE 214  
BARRINGTON, ILLINOIS 60010  
(847) 438-4922  
PROJECT MANAGER - KIM SEEBACH  
KSEEBACH@PAMELASELF.COM

## ILLINOIS (IAC) & ICC/ANSI A117.1 ACCESSIBILITY CODE NOTES

THIS PROJECT WILL COMPLY WITH ALL 2018 IAC REQUIREMENTS FOR NEW CONSTRUCTION.

THIS PROJECT WILL ALSO COMPLY WITH ALL FEDERAL REQUIREMENTS UNDER ADAAG 4.16 - NEW CONSTRUCTION.

ALL NEW DOORS LEADING TO REQUIRED ACCESSIBLE ROOMS AND SPACES SHALL BE A MIN. OF 3'-0" WIDE, HAVE LEVER OPERATED HARDWARE (OR EQUAL), HAVE A MIN. OPENING FORCE OF 5 LBS, AND FULLY COMPLY WITH IAC SECTION 404.

ALL NEW ENVIRONMENTAL CONTROLS AND OPERATING MECHANISMS WILL COMPLY WITH IAC SECTION 309 & ICC/ANSI A117.1 SECTIONS 308 & 309 (FRONT REACH BETWEEN 15' AND 48" A.F.F.).

ANY EMERGENCY WARNINGS ALARMS, WHERE PROVIDED, SHALL BE BOTH AUDIBLE AND VISUAL AND COMPLY WITH IAC SECTION 702. THE VISUAL ALARMS WILL BE FLASHING TYPE WHERE THE FLASHING IS SYNCHRONIZED AND IN COMPLIANCE FOR INTENSITY AND FREQUENCY.

ANY REQUIRED SIGNAGE IN CONTRACT SHALL BE INSTALLED AS REQUIRED PER IAC SECTION 703 & ICC/ANSI A117.1.

ONE TOILET ROOM SHALL BE FULLY ACCESSIBLE AND COMPLY WITH IAC CHAPTER 6.

THERE IS AN ACCESSIBLE ENTRANCE PER IAC SECTION 206.

## PROJECT DATA

### ZONING INFORMATION

ZONED: B-2

### SITE INFORMATION

TOTAL SITE AREA: 35,764 S.F. (0.82 ACRES)  
PARKING REQUIRED: 32 SPACES PARKING  
ONE SPACE/200 S.F. + (8) EMPLOYEES  
AVAILABLE: 24 SPACES

### BUILDING CODE INFORMATION

2012 International Building Code\*  
2014 Illinois State Plumbing Codes  
2012 International Mechanical Code  
2018 International Energy Conservation Code  
2012 International Fire Code  
2012 International Property Maintenance Code  
2011 National Electrical Code  
2012 Fuel Gas Code  
2018 Illinois Accessibility Code  
\*\*\* WITH AMENDMENTS

### BUILDING INFORMATION

USE GROUP: B-BUSINESS

CONSTRUCTION TYPE: 5B

ALLOWABLE AREA: 15,750 S.F.  
PER SECTIONS 503 & 506 AND TABLE 503 = 1.75 x 9,000 S.F.  
ACTUAL AREA: 4,790 S.F.

ALLOWABLE HEIGHT: 40'  
PER SECTION 503 AND TABLE 503

ACTUAL HEIGHT: ±17'-8" (28'-10" @ PEAK)

BUILDING VOLUME: 84,700 C.F.

OCCUPANCY LOAD: 48 PEOPLE  
PER TABLE 1004.1.2 100 S.F. (GROSS) PER PERSON

## CERTIFICATION STATEMENT

THIS IS TO CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS AND THAT THESE DRAWINGS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL FRANKFORT BUILDING AND ZONING REGULATIONS.

Signed: *Eric L. Smith* Date: 5/18/2023

KMA & ASSOCIATES ARCHITECTS

Illinois Registration Number: 001-018154



THIS DRAWING FOR REVIEW 5/18/2023 NOT FOR BIDDING 5/19/2023 NOT FOR PERMIT 5/19/2023 NOT FOR CONSTRUCTION 5/19/2023

KMA & ASSOCIATES, ARCHITECTS  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847)945-8869

SAUNA GUARD FOR  
UNLIMITED MASONRY  
LARAWAY AVENUE WEST OF WOLF ROAD  
FRANKFORT, IL

SHEET TITLE  
PROJECT DATA  
DRAWING INDEX,  
NOTES & SPECIFICATIONS

2238



GENERAL NOTES

- The Village of Frankfort, Department of Public Works, and Department of Engineering, (Telephone 1-815-469-2177), and Joseph A. Schudt & Associates (Telephone 1-708-720-1000) must be notified 2 working days prior to commencement of work.
- Elevation is U.S.G.S. Datum. (NAVD 88)
- All floor drains shall discharge to the sanitary sewer.
- All downspouts and footing drains shall discharge to the storm sewer.
- All sanitary sewer construction requires stone bedding 1/4 inch to 1 inch in size, with a minimum thickness equal to 1/4 the outside diameter of the sewer pipe, but not less than 4 inches, nor greater than eight inches. Bedding material shall be CA-11 and shall be extended at least 12 inches above top of pipe when using non-rigid (PVC) pipe.
- "Band Seal" or similar flexible-type couplings shall be used for the connection of sewer pipes of dissimilar materials.
- When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole, one of the following methods shall be used:
  - Circular saw-cut of sewer main by proper tools ("Sever Tap" machine or similar) and proper installation of hub-wye saddle or hub-tee saddle.
  - Remove an entire section of pipe (breaking only the top of the bell) and replace with a wye or tee branch section.
  - With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band-Seal" or similar couplings to hold it firmly in place.
- Wherever a sewer crosses under a watermain, the minimum vertical distance from the top of the sewer to the watermain shall be 18 inches. Furthermore, a minimum horizontal distance of 10 feet between storm and/or sanitary and watermain shall be maintained unless: the sewer is laid in a separate trench, keeping a minimum 18 inch vertical separation; or the sewer is laid in the same trench with the watermain located at the opposite side on a bench of undisturbed earth, keeping a minimum 18 inch vertical separation. If either the vertical or horizontal distances described above cannot be maintained, or the sewer crosses above the watermain, then, for a distance of 10 feet on either side of the watermain, the sewer pipe shall be PVC pressure pipe material or the watermain shall be constructed in a watertight casing.
- Contractor shall bend watermain pipe uniformly under sewers without using fittings providing that joint deflection does not exceed 5 degrees per joint for pipe under 12 inches in size and 3 degrees per joint for pipe 14 inches and over in size. All crossing (including services) shall have a minimum of 18 inches of clearance and should extend 10 feet each side of the center of the crossing.
- All sanitary manholes shall have a minimum inside diameter of 48 inches. Manhole steps shall be 16" min. wide plastic w/continuous 1/2 steel reinforcement, M.A. Industries or equal.
- All sanitary sewer, storm sewer, and water system construction shall conform to the "Standard Specifications for Water and Sewer Main Construction in Illinois", current edition.
- All paving and related improvements shall be constructed in accordance with the Illinois Department of Transportation, "Standard Specifications for Road and Bridge Construction in Illinois", current edition. As noted on plans.
- All trenches caused by the construction of sewers, watermain, water service pipes, and in excavation around catch basins, manholes, inlets, and other appurtenances which occur within the limits of, or within 3 feet of existing or proposed pavements, sidewalks, and curb and gutters shall be backfilled with trench backfill. Trench backfill shall be CA-9 Grade 8 material to subgrade and shall be mechanically compacted in 12" lifts.
- 12", 10" & 8" diameter sanitary sewer pipe and fittings shall be PVC pipe, SDR 26 (ASTM D-3034) with flexible elastomeric (O-ring) gaskets (ASTM D-3212), unless otherwise noted. Where 6" diameter sanitary service crosses below watermain with less than 18 inches of separation, or where indicated elsewhere on plans, 6" service shall be DIP pipe (ANSI 2151) with gasket joints (ANSI 21.11). Sanitary sewers shall be air tested, mandrel tested, and televised. Sanitary sewer manholes shall be provided with internal chimney seals (Cretex or equal). All Sanitary Manholes shall be provided with mac wrap at barrel section joints. Sanitary sewer manholes shall be air tested in accordance with ASTM C-1244-93, Standard Test Method for Concrete Sewer Manholes by Negative Air Pressure (Vacuum) Test.
- All new watermain shall be C900 PVC pipe. All watermain fittings, valves, and hydrants shall have stainless steel bolts and shall be secured using Meg-A-Lug restrained joints. Thrust blocking shall also be provided, with precast blocking permitted. Watermain shall be pressure tested at 150psi for two hours. A leakage test will be performed in accordance with "Standard Specifications for Water and Sewer Construction in Illinois", current edition. A disinfection test shall be completed using an initial chlorine concentration of 50 mg/l and a minimum residual concentration of 25 mg/l after 24 hours. All work shall comply with Village of Frankfort standards.
- Watermain and lot services shall be a minimum of 5.0 feet below finished ground surface. A 5 foot patch on both sides of the trench. Full depth Class D patch within the trench area. The 5 foot areas on both sides of the trench are required to be patched with 2-1/2" binder and 1-1/2" of surface. Public Works inspections are required during the restoration process.

- All storm sewer must be reinforced concrete pipe in paved areas.
  - All reinforced concrete pipe shall be ASTM C76 CL IV.
  - Sump pump discharge piping shall be PVC Schedule 40. Joints shall conform to ASTM C443.
- Where storm sewers cross over the tops of watermain and are designated as "LHP" type, they shall be reinforced concrete low head pressure pipe (ASTM C-361-76). Alternately, proper watermain protection per note (8.) shall be provided.
- All bends in the watermain of 10 degrees or greater shall be installed with restrained joints (Meg-A-Lug or equal). Restrained joints (Meg-A-Lug or equal) shall be used within three pipe lengths of a fitting. No thrust blocking is allowed.
- All rims and inverts of existing sanitary and storm sewer shall be field verified prior to the start of construction, and any discrepancies between the plan and existing elevations shall be reported to the Engineer immediately.
- All coordinates refer to back of curb, centerline of manhole, pipe, or structure, or as shown.
- All curb radii refer to back of curb. Lane dimensions refer to face of curb or edge of pavement.
- The Contractor shall subscribe to all governing regulations and shall obtain all necessary public agency permits.
- Field check all dimensions, coordinates, and elevations before proceeding with new work. Notify the Engineer of any discrepancies immediately.
- The Contractor shall provide for the safe and orderly passage of traffic and pedestrians where his operations affect public thoroughfares and adjacent property.
- Construction access points to the site shall be protected in such a way as to prevent tracking of mud or soil onto public thoroughfares. At the end of each day, the Contractor shall clean up all mud or soil which has been tracked onto public streets or as required by the Village of Frankfort.
- Street paving and curbs to remain shall be protected from damage and, if damaged, shall be replaced promptly to meet Village of Frankfort Standard Specifications in materials and workmanship.
- Prior to new work, the Contractor shall verify the location and elevation of existing utility lines and structures to be connected to proposed work. Discrepancies shall be reported to the Engineer immediately.
- All sediment will be prevented from entering any existing storm drainage systems by the use of hay bales, interceptor dikes or other approved functional methods. The Contractor shall be responsible for removing sediment resulting from this project from storm sewers and drainage structures.
- All utility connections to existing lines shall be constructed in accordance with the regulations of the utility owner and to the satisfaction of the utility owner.
- All work shall be in accordance with the specifications for the Village of Frankfort.
- New watermain valves, including pressure tap valves, adjacent to an existing watermain, and existing watermain valves shall only be operated by the Village of Frankfort, Department of Public Works personnel with a 48-hour notice (Monday-Friday).
- Any existing utility structures requiring adjustment are to be adjusted (up to 6" total adjustment allowed with a maximum of 2 precast concrete rings) or reconstructed by the contractor to the utility owner's satisfaction. Adjustments or reconstructions not called for on the plans shall be considered incidental to the contract. A total of no more than 6" and no less than 4 inches of adjusting rings shall be provided at all utility structures. Adjusting rings shall be set in a bed of preformed non-hardening mastic (RUB-R-NEK or approved equal). The upper adjusting ring shall be made of recycled rubber (Infra-Riser brand or equal).
- All connections to existing manholes shall be made by coring the existing manhole using a diamond or carbide tip cutter and installing a press seal PSX or CORE-NEAL boot in the cored opening.
- All storm sewer fared end sections for pipes greater than 12 inch diameter shall be provided with grates per I.D.O.T. standards.
- Reproducible "Record" drawings shall be provided by the contractor to the Village of Frankfort and Owner following completion of improvements.
- Structure lids shall be stamped "VILLAGE OF FRANKFORT" and "SANITARY", "STORM", or "WATER" for appropriate utilities.
- Sanitary and Water stubs shall be marked with 4" x 4" wood posts.
- One lane in each direction shall be open to traffic at all times except between the hours of 9 A.M. to 3 P.M. During this period all work must be performed in accordance with standards 701201, 701206, and 701401.
- Traffic control standards which shall be included for use during construction are: 702001, 701201, 701206, 701301, 701401, 701501, 701606, and 701701.
- The owner and/or contractor shall be responsible for verifying soil conditions and subgrade conditions.

INDEMNIFICATION LANGUAGE

INDEMNIFICATION AND INSURANCE REQUIREMENTS - The Applicant and the Contractor shall indemnify the Municipality and the Municipal Engineer, their officials, officers, employees, and agents acting in the scope and course of their employment and shall protect them from claims arising out of or in connection with any operation of the Applicant or Contractor including personal injury, death, or for destruction of or damage to property.

The Applicant and Contractor shall also protect the Municipality and the Municipal Engineer by including them as additional insured on their Comprehensive General Liability Insurance Policy. The minimum level of insurance shall be as specified in Section 107.27 GENERAL REQUIREMENTS AND COVENANTS of the Standard Specifications for Road and Bridge Construction by the Illinois Department of Transportation. "Claims Made" type policies are unacceptable. Certificates of Insurance shall be filed and approved by the Municipality and Robinson Engineering, Ltd., the Municipal Engineer, a minimum of 5 days before starting construction.

PERSONAL LIABILITY - In carrying out any of their duties or in exercising any power or authority granted to the Municipal Engineer by the Municipality, there shall be no personal liability upon the Municipal Engineer or their authorized representative, it being understood that in such matters they act as agents and representatives of the Municipality. By beginning work, the Applicant and Contractor covenants and agrees that it shall neither commence nor prosecute any action or suit whatsoever against the Municipal Engineer or Municipality, their officials, officers, employees or agents in any action or omission done or not done in the course of their duties. Further, by beginning work, the Applicant and Contractor agrees to pay all attorney fees and all costs incurred by the Municipality or Municipal Engineer, its officials, officers, employees or agents because of any action or suit in violation of this Article.

HOLD HARMLESS - The Applicant and Contractor doing work, shall hereby defend, indemnify, keep, and save harmless the Municipality and the Municipal Engineer, and their respective legislative and board members, representatives, agents, and employees in both individual and official capacities against all suits, claims, damages, losses, and expenses, including attorney's fees, caused by or growing out of, or incidental to, the performance of the work by the Applicant or the Contractor to the full extent allowed by the laws of the State of Illinois and not beyond any extent which would render these provisions void or unenforceable.

CONSTRUCTION OBSERVATION - All materials and each part of detail of the work portrayed on these Plans may be subject at any time to observation by the Municipal Engineer. Observation may be made at the site, or at the source of material supply, whether that is at a mill, plant, ship, etc. The Municipal Engineer shall be allowed access to all parts of the Work and shall be furnished with such information and assistance by the Applicant and Contractor as needed to perform these observations. The Contractor shall be held strictly to the true intent of the Plans in regard to quality of materials and workmanship.

The Municipal Engineer is not responsible for safety on the work site nor does the Municipal Engineer have any duty to review in any manner the adequacy of the Contractor's safety measures incident to the work portrayed on these Plans.

The Municipal Engineer is not responsible for any construction means, methods, techniques, sequences or procedures for the work portrayed on these Plans.

The Municipal Engineer has no charge of the construction and has no right, duty, or responsibility to stop work because of any Contractor's failure to follow proper safety precautions. The Municipal Engineer is not responsible for the acts, errors or omissions of any Applicant, Engineer or Contractor, or any of their agents or employees or any other person performing any of the Work portrayed on these Plans.

The Contractor shall, upon written notice from the Municipality, remove or uncover such portions of the finished Work, as it may direct, before the final acceptance of the same. After examination, the Contractor shall restore said portion of the Work to the standard required by these Plans. The expense of uncovering, removing and replacement shall be borne by the Applicant and/or the Contractor; and, not the Municipality nor the Municipal Engineer.

Any reference to "supervision" by the Engineer in the Illinois Department of Transportation, Standard Specifications for Road and Bridge Construction, or any other referenced documents shall be changed to "observation".

# RETAIL BUILDING

## LOT 3 LARAWAY & WOLF ROAD

### FRANKFORT, IL 60423

# SITE IMPROVEMENT PLANS

## KMA & ASSOCIATES, ARCHITECTS

CONTACT:  
ERIC SMITH  
2205 LAKESIDE DRIVE  
BANNOKBURN, IL 60015  
PHONE: 847.945.6869  
esmith@kmaarch.com

**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS }  
COUNTY OF WILL } SS

To the best of our knowledge and belief the drainage of surface waters will not be changed by the construction of such subdivision or any part thereof, or that if such surface water drainage will be changed, reasonable provisions have been made for the collection and discharge of surface waters into public or private areas and/or drains which the subdivider has the right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of substantive damage to adjoining property because of the construction of the subdivision.

Dated this 15 day of APRIL 2021

*[Signature]*  
Engineer



Joseph A. Schudt & Associates

9455 ENTERPRISE DRIVE MOKENA, IL 60448  
PHONE: 708-720-1000 FAX: 708-720-1065  
e-mail: jas@jaseng.com http://www.jaseng.com

CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-001172

Prepared at or under the direction of:

*[Signature]*  
Illinois Professional Engineer No. 062-043406



SIGNED: \_\_\_\_\_

LIC. EXP: 11-30-23

CONTACT JULIE AT 811 OR 800-892-0123

WITH THE FOLLOWING INFORMATION

COUNTY-NAME WILL

CITY / TOWNSHIP FRANKFORT

SEC & 1/4 SEC No. SW 1/4 SEC 30, TWN 35 N, R 12 E

48 HOURS (2 working days) BEFORE YOU DIG



LEGEND

⊙	EXISTING SANITARY MANHOLE	★	PROPOSED LIGHT
●	PROPOSED SANITARY MANHOLE	- - -	EXISTING CONTOUR LINE
-SAN-	EXISTING SANITARY SEWER	~ ~ ~	PROPOSED CONTOUR LINE
-	PROPOSED SANITARY SEWER	==	EXISTING CURB
⊗	EXISTING VALVE IN VAULT	==	PROPOSED CURB
⊗	PROPOSED VALVE IN VAULT	#####	EXISTING CURB TO BE REMOVED
⊗	EXISTING VALVE	—	PROPOSED HUNG CURB
⊗	PROPOSED VALVE	⊕	EXISTING POWER POLE
△	EXISTING REDUCER	⊗	EXISTING TRANSFORMER
▲	PROPOSED REDUCER	⊕	EXISTING ELECTRIC MANHOLE
⊕	EXISTING HYDRANT	-E-	EXISTING ELECTRIC CABLE
⊕	PROPOSED HYDRANT	△	EXISTING TELEPHONE PEDESTAL
-W-	EXISTING WATERMAIN	⊕	EXISTING TELEPHONE MANHOLE
-PW-	PROPOSED WATERMAIN	-T-	EXISTING TELEPHONE CABLE
⊕	EXISTING STORM MANHOLE	⊕	EXISTING TRAFFIC SIGNAL
⊕	PROPOSED STORM MANHOLE	⊕	EXISTING HAND HOLE
⊕	EXISTING CATCH BASIN	⊕	EXISTING GAS VALVE
⊕	PROPOSED CATCH BASIN	-G-	EXISTING GAS MAIN
⊕	EXISTING INLET	-C-	EXISTING CABLE T.V.
⊕	PROPOSED CIRCULAR INLET	⊕	EXISTING BORING LOCATION
■	PROPOSED INLET	-	EXISTING SIGN
-ST-	EXISTING STORM SEWER	-x-x-	EXISTING FENCE LINE
-	PROPOSED STORM SEWER	⊕	EXISTING DECIDUOUS TREE
-ST-	EXISTING CULVERT	⊕	EXISTING EVERGREEN
-	PROPOSED CULVERT	⊕	EXISTING BUSH/HEDGE
☆	EXISTING LIGHT	⊕	EXISTING WETLAND

INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING TOPOGRAPHY
3	SITE LAYOUT PLAN
4	SITE GRADING PLAN
5	SITE UTILITY PLAN
6	SITE EROSION CONTROL PLAN
7	STORM WATER POLLUTION PREVENTION PLAN
8	CONSTRUCTION SPECIFICATIONS
9	CONSTRUCTION DETAILS
10	CONSTRUCTION DETAILS

LEGAL DESCRIPTION

LOT 3 IN THE WOLF AND LARAWAY LLC SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

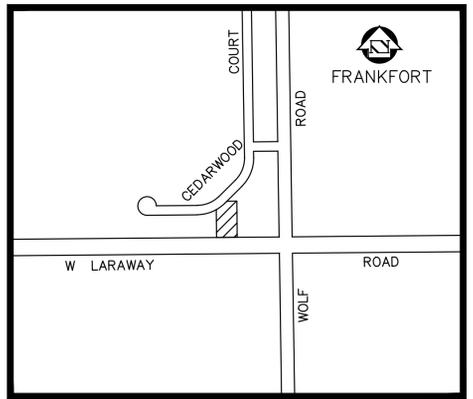
P.I.N. 19-09-30-401-063-0000

PROPERTY CONTAINS: 35,764 SQ. FT. (0.821 ACRES), MORE OR LESS.

BENCH MARK:

TOP OF THE NORTHWEST FLANGE BOLT OF HYDRANT, LOCATED WEST OF WOLF ROAD, THE FIRST HYDRANT ON THE NORTH SIDE OF LARAWAY ROAD. ELEVATION: 739.38

Village of Frankfort Standard Specifications shall govern all utility matters and shall supercede general conditions and specifications when and where in conflict.



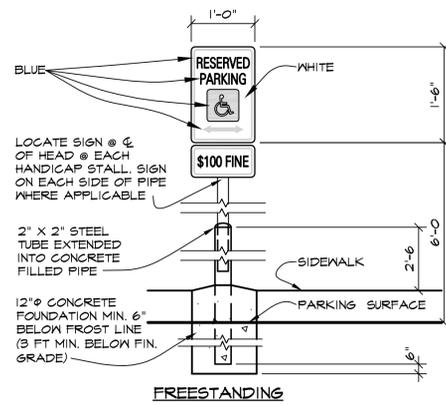
VICINITY MAP  
(NOT TO SCALE)

INDICATES SITE LOCATION

## FOR PERMIT

No.	Date	By	Description
<b>REVISIONS</b>			
Date:	5-15-23	Drawn:	TMF
Design:	KG	Approved:	DWO
SHEET 1 OF 10			Project No. 23-020

M:\2023\23-020\Unimproved Masonry Retail Bldg\Drawings\Construction Drawings\23-020-ENG\_COV1\_Planet\_5/17/2023 1:28 PM By: K.Gabarak, COPY/RIGHT 2021 - JOSEPH A. SCHUDT & ASSOCIATES



**HDCP. PARKING SIGN**  
SCALE: 3/4" = 1'-0"  
MAY VARY BY ORDINANCE. VERIFY FINE AMOUNT W/ CITY OF ROMEOVILLE.

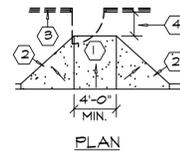
**HANDICAPPED PARKING SIGN**

Each parking space designated as reserved for environmentally limited persons shall be equipped with a sign which complies with Section 4.6.4 Signage of the Federal Register (Department of Justice Rules and Regulations, 28CFR Part 36) and meets the requirements of Sign RT-8 (U.S. Department of Transportation Standard). At least one of such required signs shall have an additional sign "Van - Accessible" mounted below the symbol of accessibility. Signs shall be located on post within 5' of parking stall w/ bottom of 18" sign @ 6'-0" above top of pvmt.

Provide a 6" x 12" fine sign which complies with all applicable codes to be mounted directly below each handicapped parking sign. Verify fine amount with City of Romeoville.

**HANDICAPPED CONCRETE RAMP**

Per A.D.A. Accessibility Guidelines, Section 4.29.2, concrete ramps are to have detectable warnings consisting of raised truncated domes with a diameter of nominal 0.9 inches (23 mm), a height of nominal 0.2 inches (5 mm), and a center-to-center spacing of nominal 2.35 inches (60 mm). These truncated domes are to visually contrast with the adjoining surface. Either the background or the domes are to be colored to provide a light-on-dark, or dark-on-light contrast.



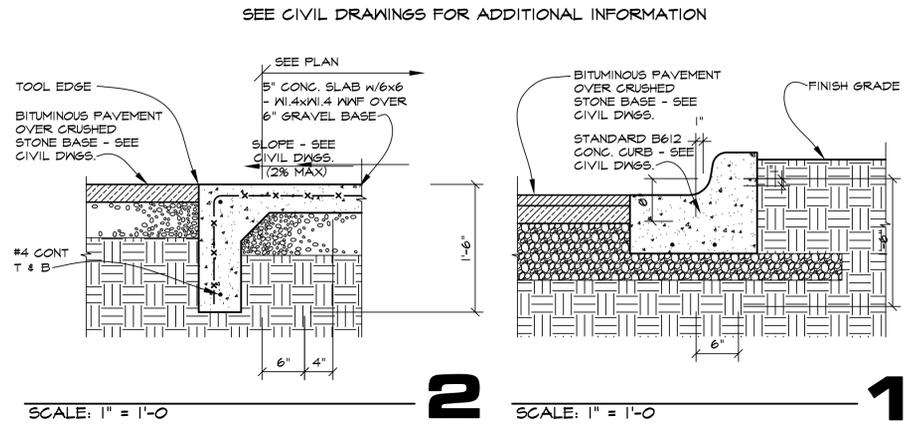
**ELEVATION**

NOTE: RAMP TO COMPLY WITH ALL APPLICABLE HANDICAPPED ACCESSIBILITY CODES

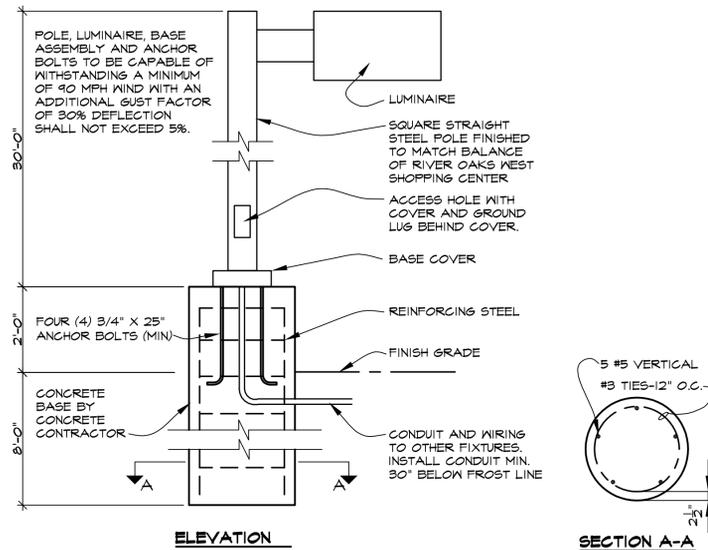
**HDCP. CURB RAMP**  
SCALE: 1/8" = 1'-0"

**KEYED NOTES**

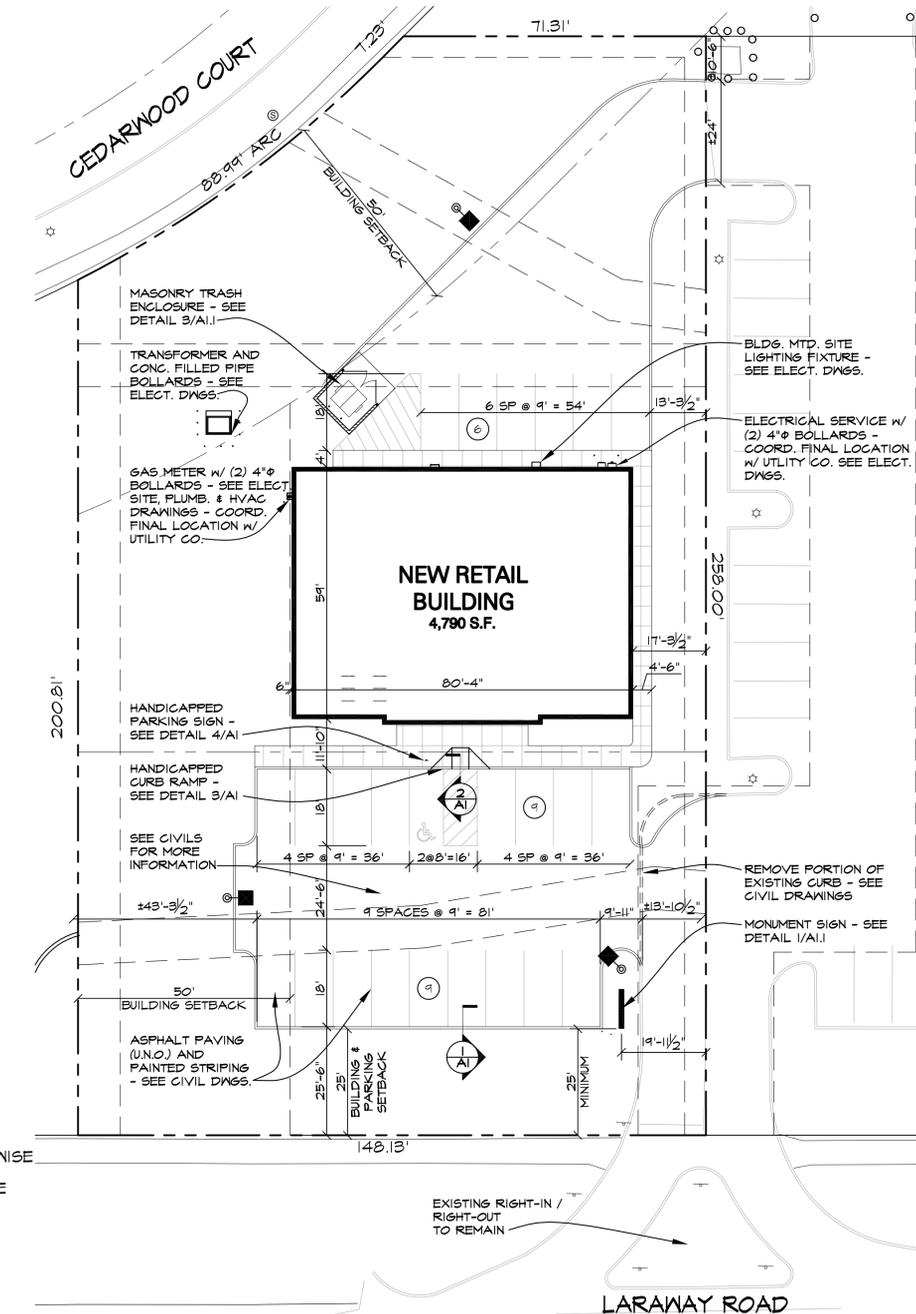
- ① CONCRETE RAMP, MAX. SLOPE 1:12 (8.33%)
- ② SIDE FLARES, MAX SLOPE 1:12 (8.33%)
- ③ BUILDING LINE.
- ④ SLOPE WALK 1:50 (2%) MAX.



SCALE: 1" = 1'-0" **2** SCALE: 1" = 1'-0" **1**



**LIGHT POLE**  
SCALE: 1/2" = 1'-0"



**NOTES:**

BUILDING LINES, CURBS AND STRIPING TO BE PARALLEL AND/OR PERPENDICULAR TO THE SOUTH PROPERTY LINE UNLESS NOTED OTHERWISE

FOR MORE INFORMATION REGARDING THE SITE PLAN, REFER TO CIVIL DRAWINGS BY JOSEPH A. SCHUDT & ASSOCIATES AND SITE ELECTRICAL (LIGHTING) DRAWINGS. FOR CONCRETE FLATWORK AROUND THE BUILDING REFER TO BOTH ARCHITECTURAL DRAWINGS & CIVIL DRAWINGS.

NOTE: SOD (OR SEED) ALL NON-PAVED AREAS. SOD PARKWAY AREAS DISTURBED BY CONSTRUCTION

NOTE: HANDICAPPED PARKING STALLS TO HAVE MAX. 2% SLOPE IN ANY DIRECTION

**SITE PLAN**  
SCALE: 1" = 20'-0"

REVISIONS	
FOR REVIEW	5/19/2023
NOT FOR BIDDING	5/19/2023
NOT FOR PERMIT	5/19/2023
NOT FOR CONSTRUCTION	5/19/2023

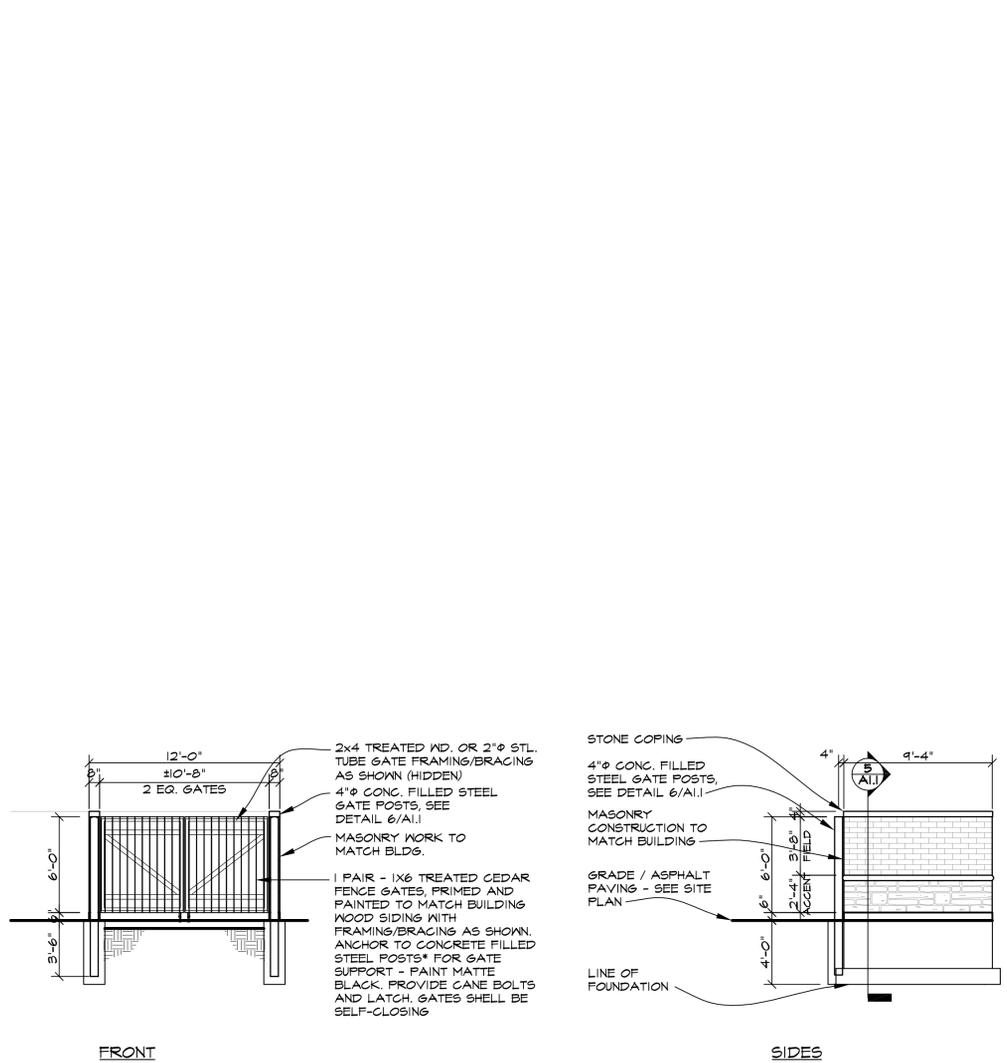
**KMA & ASSOCIATES, ARCHITECTS**  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847)945-8869

**SAUNA GUARD FOR UNLIMITED MASONRY**  
LARAWAY AVENUE WEST OF WOLF ROAD  
FRANKFORT, IL

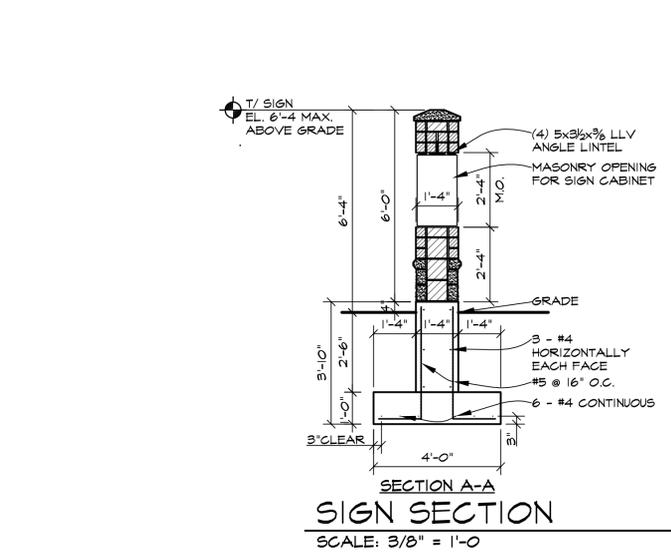
**SHEET TITLE**  
SITE PLAN, DETAILS AND NOTES  
**2238**



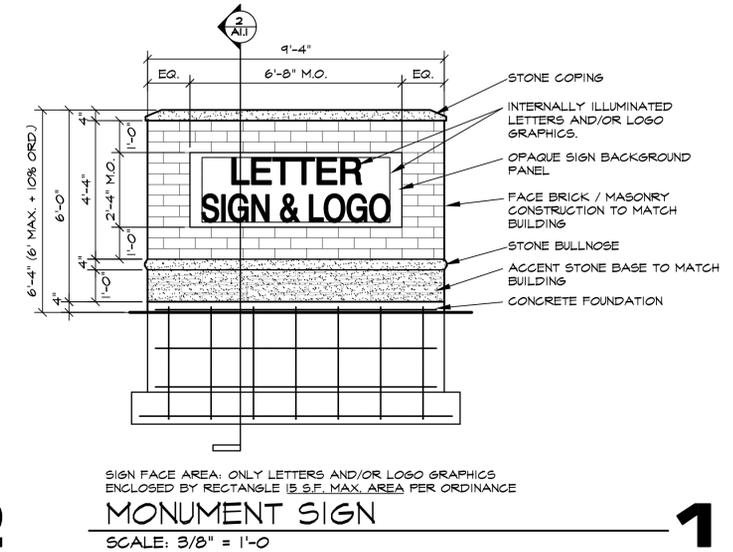
**A 1**



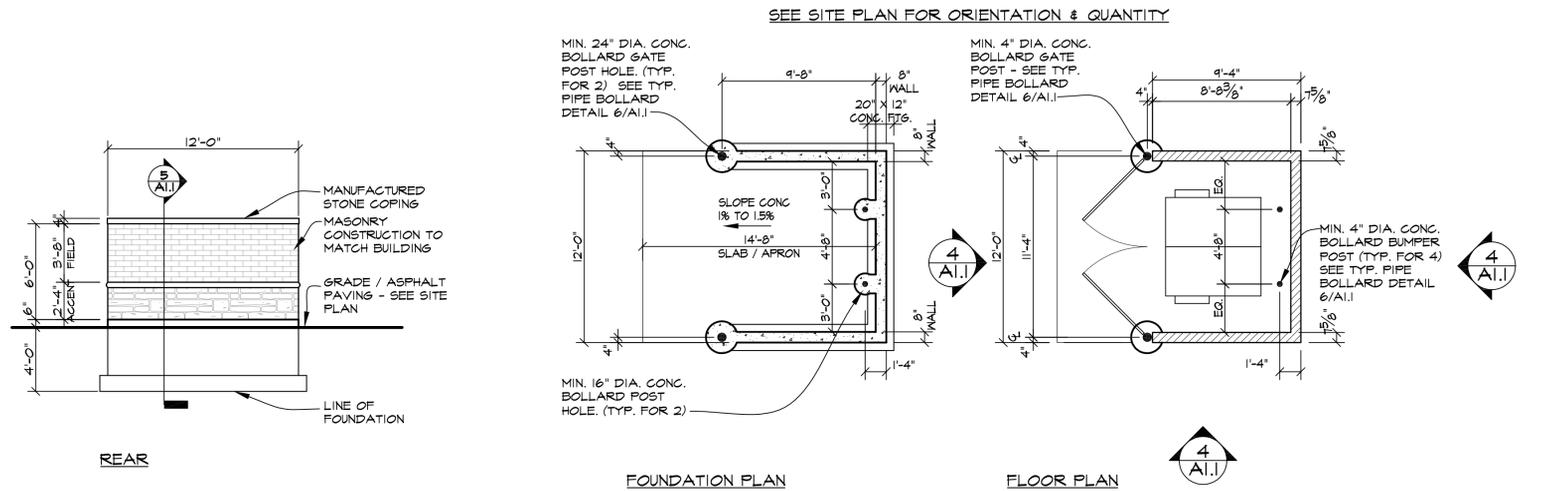
**TRASH ENCLOSURE ELEVATIONS**  
SCALE: 3/16" = 1'-0"



**SIGN SECTION**  
SCALE: 3/8" = 1'-0"



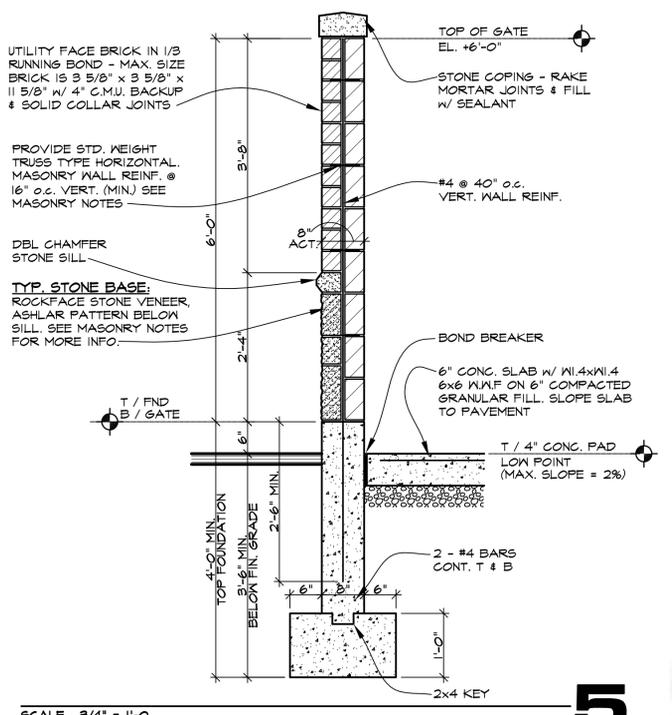
**MONUMENT SIGN**  
SCALE: 3/8" = 1'-0"



**TRASH ENCLOSURE PLAN**  
SCALE: 3/16" = 1'-0"

- KEYED NOTES**
- ① 4" STD. STL. PIPE COL. (CONC. FILLED) 6" WHERE NOTED, PROVIDE 1/4" WELDED CLOSURE @ BOTTOM. (PAINT EXPOSED PIPE YELLOW)
  - ② TOP OF PAVEMENT.
  - ③ 12" DIA. CONCRETE FOUNDATION. USE SONOTUBE FORM.
  - ④ 3/8" DIAMETER WELDED HOOPS, 18" @ TOP, BOTTOM AND CENTER.
  - ⑤ SOLID UNDISTURBED SOIL.
  - ⑥ PROVIDE PITCHED, SMOOTH CONCRETE FINISH @ ASPHALT PAVING
  - ⑦ NOT USED
  - ⑧ CONCRETE WASH
  - ⑨ 1/4x4x1/4" E TIES WELDED TO EACH SIDE OF 4" EXTRA STRONG STEEL PIPE COLS.
  - ⑩ SOLID CONG. POST HOLE MIN. 12" @ 4'-0" DEEP

**TYPICAL PIPE BUMPER GUARDS**  
SCALE: 1/2" = 1'-0"



SCALE: 3/4" = 1'-0"

REVISIONS	
FOR REVIEW	5/19/2023
FOR BIDDING	5/19/2023
FOR PERMIT	5/19/2023
FOR CONSTRUCTION	

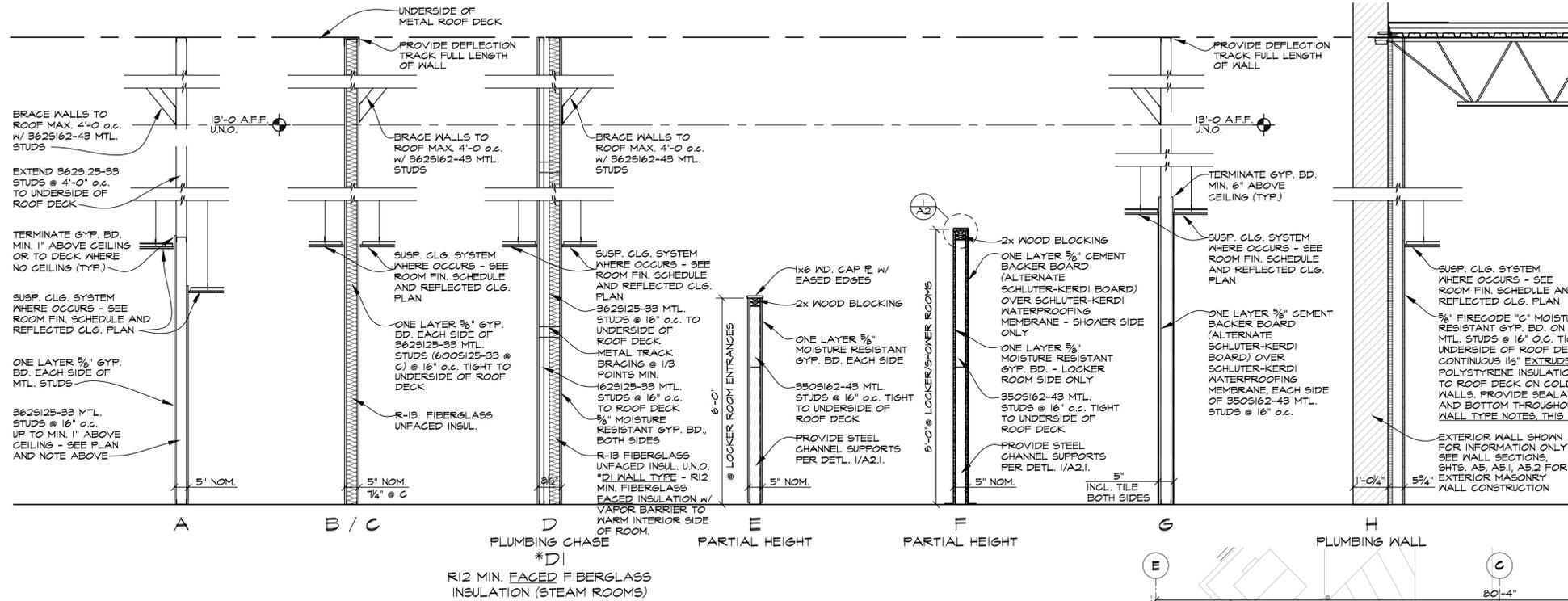
**KMA & ASSOCIATES, ARCHITECTS**  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847)945-8869

**SAUNA GUARD FOR UNLIMITED MASONRY**  
LARAWAY AVENUE WEST OF WOLF ROAD  
FRANKFORT, IL

**SHEET TITLE**  
SIGN DETAILS AND TRASH ENCLOSURE DETAILS  
**2238**



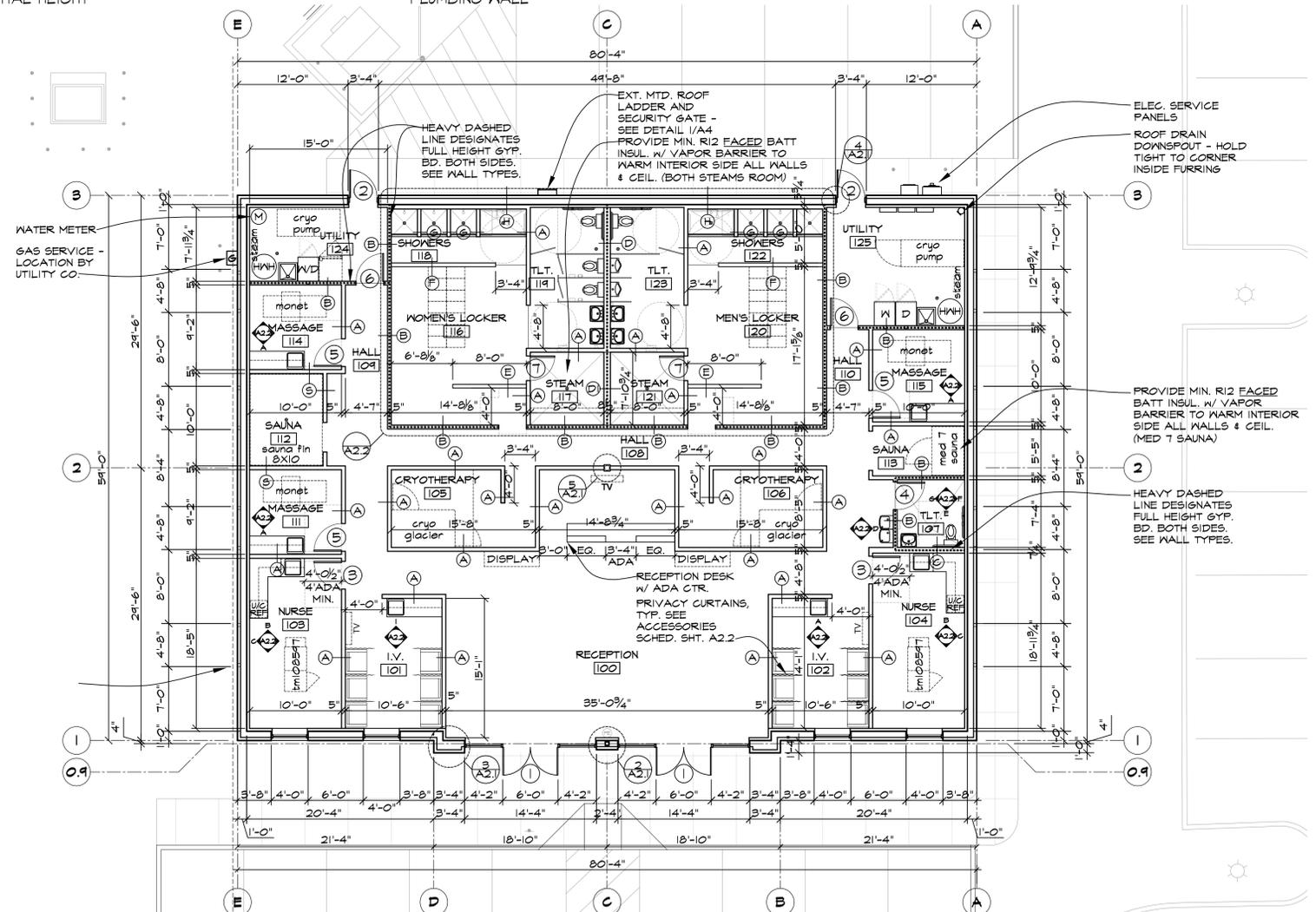
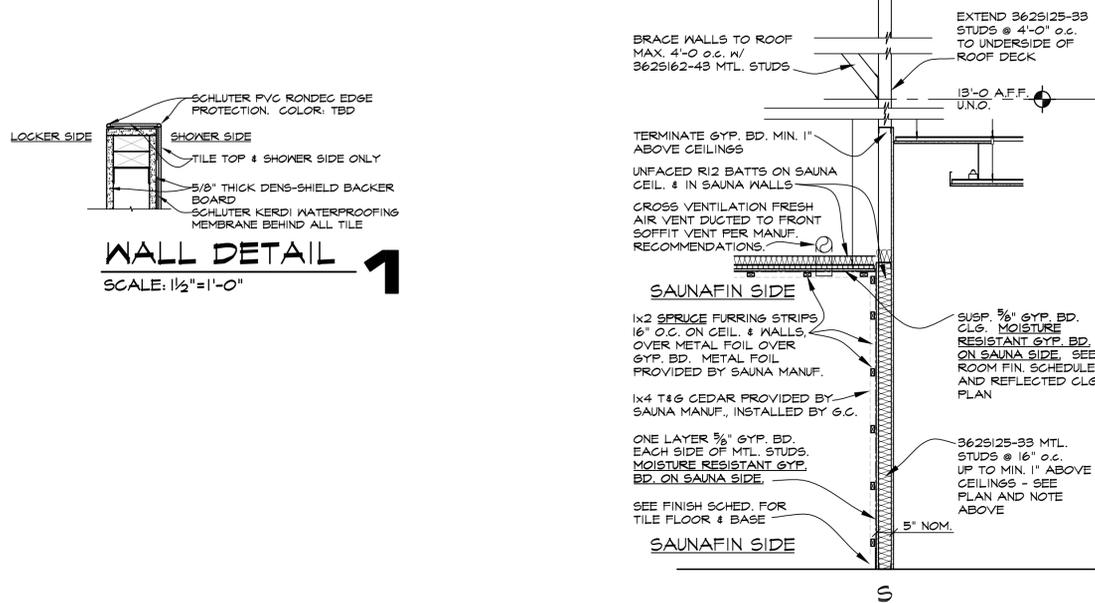
**A 1.1**



- WALL TYPE NOTES:**
- 1) MOISTURE RESISTANT GYPSUM BOARD TO BE USED IN LOCKER/SHOWER/TOILET ROOMS, U.N.O. 5/8" THICK DENS-SHIELD BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD BEHIND ALL WALL TILE. SEE DETAILS
  - 2) PROVIDE MIN. 4" HIGH MOISTURE RESISTANT GYP. BD. AT SINGLE USER TOILET ROOM AND AT MOP OR SERVICE SINKS AND DRINKING FOUNTAINS.
  - 3) STEAM ROOMS AND MEDT SPA: PROVIDE R12 MIN. FIBERGLASS FACED INSULATION w/ VAPOR BARRIER TO WARM INTERIOR SIDE OF ALL WALLS AND CEILINGS.
  - 4) SEE REFLECTED CEILING PLAN FOR CEILING LOCATIONS, TYPE AND HEIGHT

**WALL TYPES**

SCALE: 1/2"=1'-0"



**REVISIONS**

NO.	DATE	DESCRIPTION
1	5/19/2023	FOR BIDDING
2	5/19/2023	FOR PERMIT
3	5/19/2023	FOR CONSTRUCTION

**THIS DRAWING**

**KMA & ASSOCIATES, ARCHITECTS**  
 2205 LAKESIDE DRIVE  
 BANNOCKBURN, ILLINOIS 60015  
 (647)945-8869

**SAUNA GUARD FOR UNLIMITED MASONRY**  
 LARAWAY AVENUE WEST OF WOLF ROAD  
 FRANKFORD, IL

**SHEET TITLE**  
 FLOOR PLAN WALL TYPES  
 DETAILS AND NOTES

**2238**

**Eric L. Smith**  
 ERIC L. SMITH  
 001-018154  
 STATE OF ILLINOIS  
 ARCHITECT  
 EXPIRES 11-30-24

**A2**

NOTE "A"  
 DUR-O-MAL ROD  
 ANCHOR D109  
 WELDED TO COL.  
 FACES @ 16" o.c.

NOTE "B"  
 TRIANGLE TIES @ 16"  
 o.c. (HECKMAN 316 OR  
 EQUAL) SIZE VARIES  
 AS NEEDED

GENERAL NOTES:  
 1) SEE STRUCTURAL DRAWINGS  
 FOR COLUMN SIZE.

2) ALL CORES & VOIDS WITHIN  
 4" OF COL FACE TO BE  
 FILLED SOLID WITH MORTAR  
 PROVIDE TYPICAL HORIZ.  
 MASONRY REINF. USE  
 PRE-FAB CORNERS WHERE  
 APPLICABLE.

3) SEE ELEVATIONS FOR  
 CONTROL JOINT LOCATIONS  
 AND ADDITIONAL  
 REQUIREMENTS

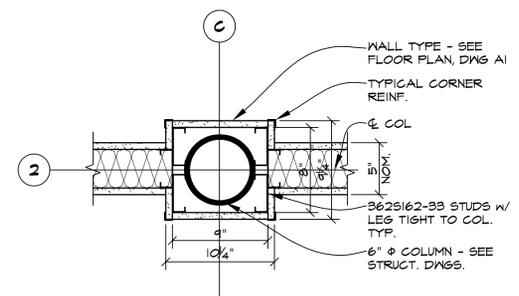
THIS DRAWING	
FOR REVIEW	5/19/2023
FOR BIDDING	5/19/2023
FOR PERMIT	5/19/2023
FOR CONSTRUCTION	

KMA & ASSOCIATES, ARCHITECTS  
 2205 LAKESIDE DRIVE  
 BANNOCKBURN, ILLINOIS 60015  
 (847)945-8869

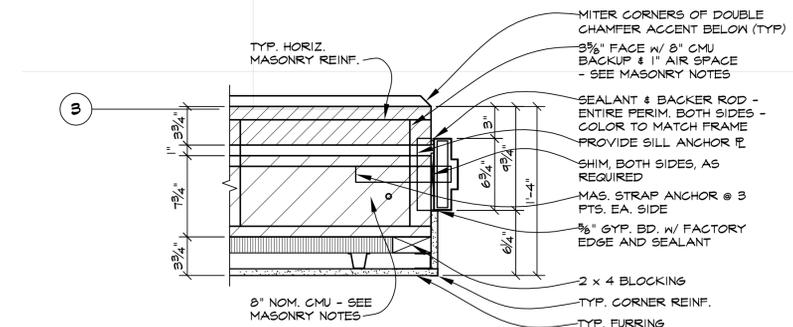
SAUNA GUARD FOR  
 UNLIMITED MASONRY  
 LARAWAY AVENUE WEST OF WOLF ROAD  
 FRANKFORT, IL

SHEET TITLE  
 WALL DETAILS, NOTES  
 2238

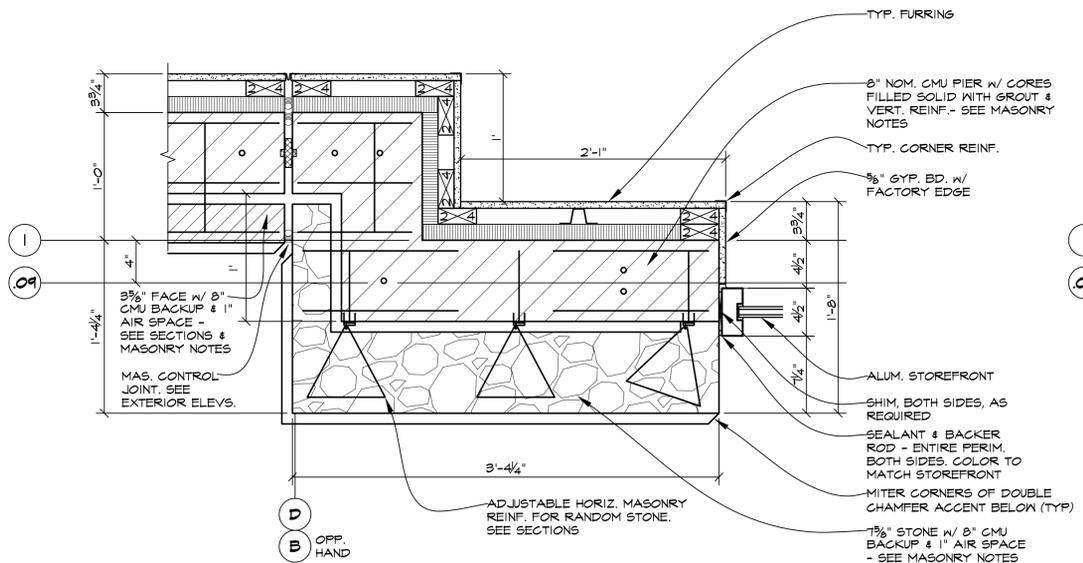
Eric L. Smith  
 LICENSED ARCHITECT  
 ERIC L. SMITH  
 001-018434  
 STATE OF ILLINOIS  
 EXPIRES 11-30-24



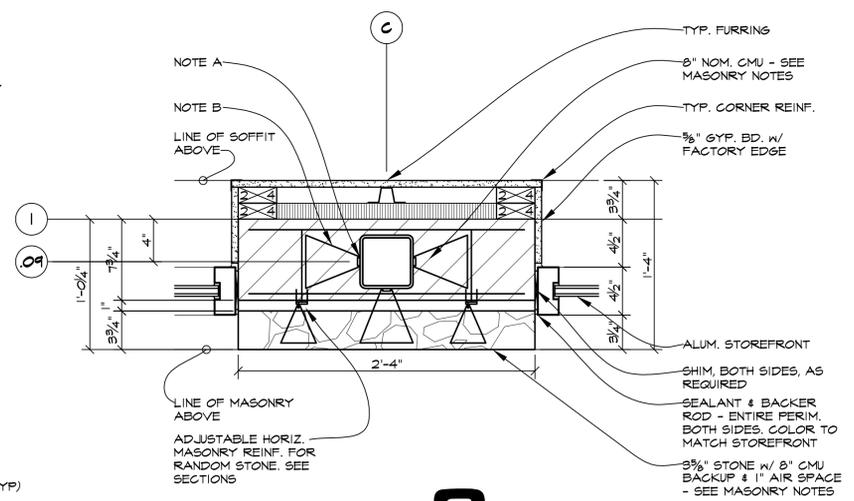
SCALE: 1/2" = 1'-0" **5**



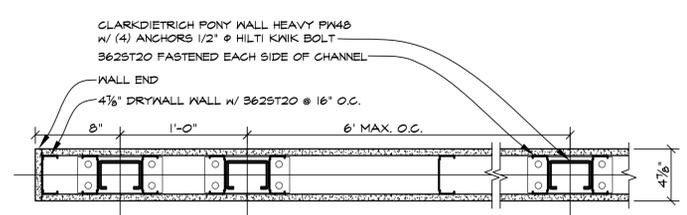
SCALE: 1/2" = 1'-0" **4**



SCALE: 1/2" = 1'-0" **3**



SCALE: 1/2" = 1'-0" **2**



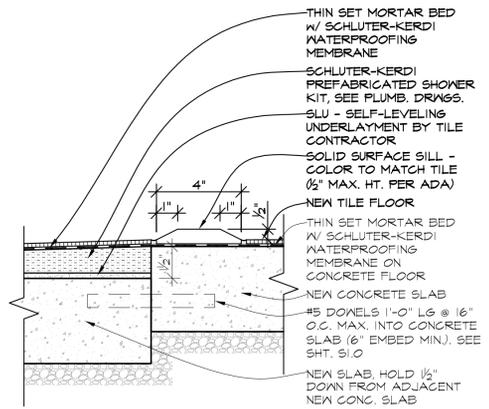
SCALE: 1/2" = 1'-0" **1**

**A**  
**2.1**

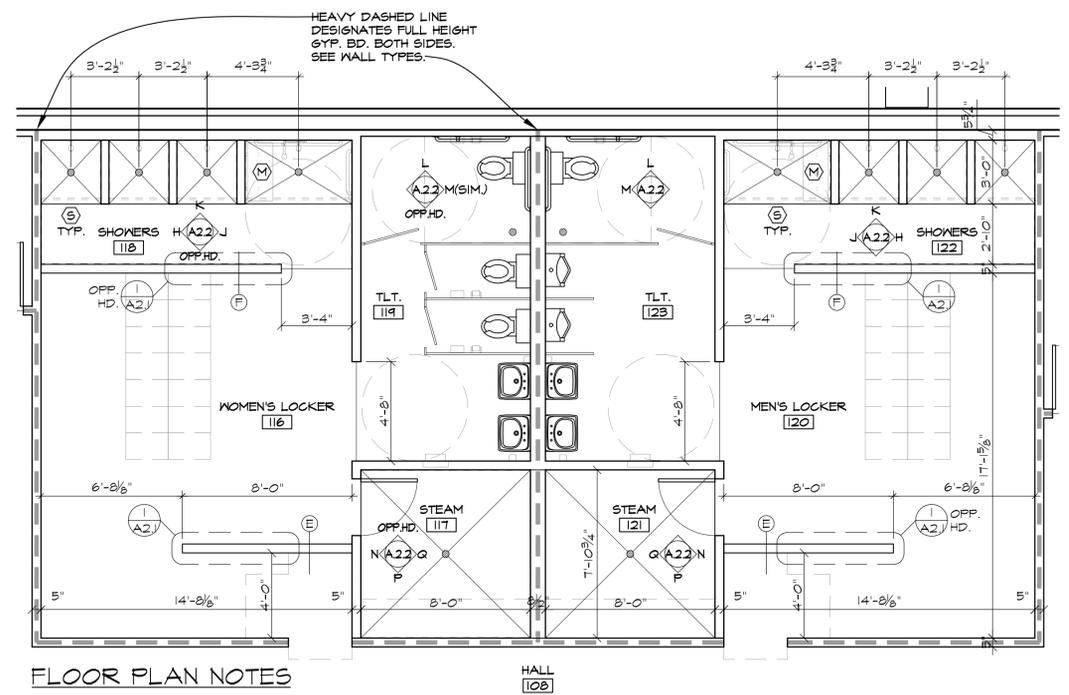
ACCESSORIES SCHEDULE

(A)	TOILET PAPER DISPENSER; BOBRICK, OR AS SELECTED BY OWNER.
(B)	GRAB BAR - 42" LONG; BOBRICK B-6806.99X42 OR EQUAL
(C)	GRAB BAR - 36" LONG; BOBRICK B-6806.99X36 OR EQUAL
(D)	GRAB BAR - 24" LONG; BOBRICK B-6806.99X24 OR EQUAL
(E)	VERTICAL GRAB BAR - 18" LONG; BOBRICK B-5806.99X18 OR EQUAL
(F)	MIRROR - 24"X36"; BOBRICK B-165 OR EQUAL
(G)	MIRROR - SEE INT. ELEV. FOR DIMENSIONS; BOBRICK, OR AS SELECTED BY OWNER.
(H)	SOAP DISPENSER
(J)	PAPER TOWEL DISPENSER
(L)	SANITARY NAPKIN DISPENSER - 7 1/2" X 10" X 3 13/16"; BOBRICK B-270 OR EQUAL
(M)	ADA SHOWER SEAT
(N)	ROBE HOOK - BRAINERD SATIN NICKEL MODEL: B42306J-SN-C OR EQUAL
(O)	HDCP. SIGN - SEE PLUMB. DRAGS.
(P)	ADA SHOWER HEAD - SEE PLUMB. DRAGS.
(Q)	SHOWER HEAD - SEE PLUMB. DRAGS.
(R)	TOILET PARTITIONS; BOBRICK, OR AS SELECTED BY OWNER.
(S)	SHOWER CURTAIN - INPRO 'CLICKEZE' OR EQUAL; STYLE, COLOR AND PATTERN: TBD.
(T)	PRIVACY CURTAIN (I.V. ROOMS) - INPRO 'CLICKEZE' OR EQUAL; STYLE, COLOR AND PATTERN: TBD.

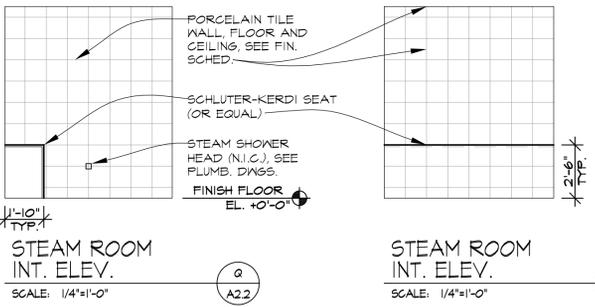
- 1) PROVIDE IN WALL WOOD BLOCKING AT ALL TOILET, SHOWER AND STEAM ROOM ACCESSORIES.
- 2) TOILET, SHOWER AND STEAM ROOM ACCESSORIES SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.



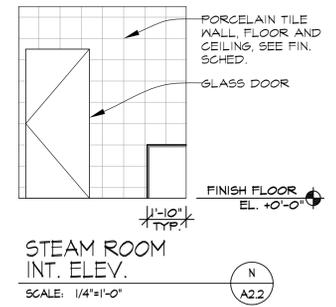
SEE SHEET S1  
**FLOOR TRANSITION DETAIL**  
 SCALE: 3" = 1'-0"



**FLOOR PLAN NOTES**  
 1. SEE DRAWING PI FOR ADDITIONAL TOILET ROOM INFORMATION  
 2. SEE DRAWING AI FOR WALL TYPES DENOTED THIS. ○  
**ENLARGED FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

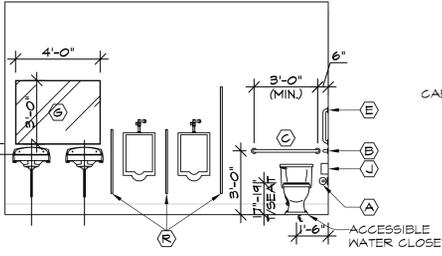


**STEAM ROOM INT. ELEV.**  
 SCALE: 1/4" = 1'-0"

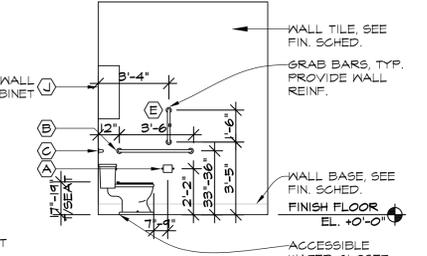


**STEAM ROOM INT. ELEV.**  
 SCALE: 1/4" = 1'-0"

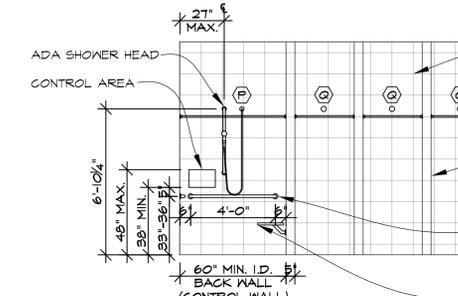
NOTE:  
 TOILET ACCESSORIES SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.



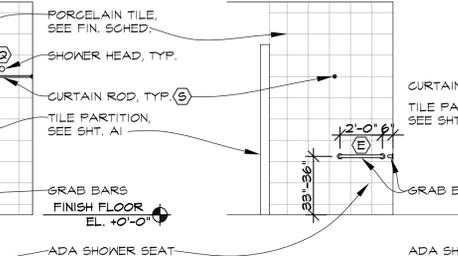
**TOILETS INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



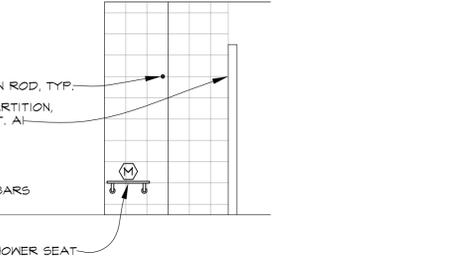
**TOILETS INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



**SHOWERS INT. ELEV.**  
 SCALE: 1/4" = 1'-0"

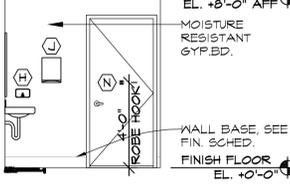


**SHOWERS INT. ELEV.**  
 SCALE: 1/4" = 1'-0"

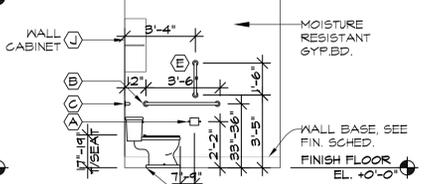


**SHOWERS INT. ELEV.**  
 SCALE: 1/4" = 1'-0"

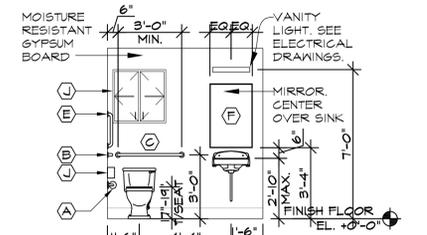
NOTE:  
 TOILET ACCESSORIES SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.



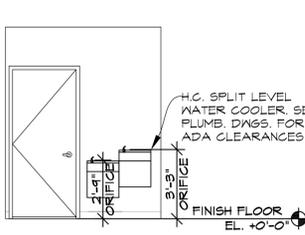
**TOILET INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



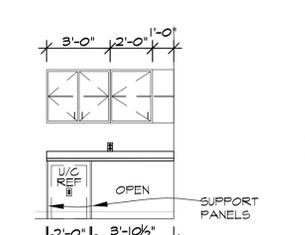
**TOILET INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



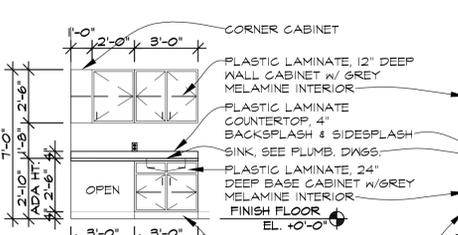
**INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



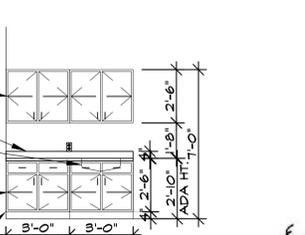
**INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



**NURSE CABINET INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



**NURSE CABINET INT. ELEV.**  
 SCALE: 1/4" = 1'-0"



**MESSAGE/IV ROOMS CABINET INT. ELEV.**  
 SCALE: 1/4" = 1'-0"

**REVISIONS**

THIS DRAWING FOR REVIEW	5/19/2025
NOT FOR BIDDING	5/19/2025
NOT FOR PERMIT	
NOT FOR CONSTRUCTION	

KMA & ASSOCIATES, ARCHITECTS  
 2205 LAKESIDE DRIVE  
 BANNOCKBURN, ILLINOIS 60015  
 (847)945-6869

SAUNA GUARD FOR UNLIMITED MASONRY  
 LARAWAY AVENUE WEST OF WOLF ROAD  
 FRANKFORT, IL

**SHEET TITLE**  
 INTERIOR ELEVATIONS  
 ENLARGED FLOOR PLAN  
 SCHEDULE

**2238**

ERIC L. SMITH  
 003-051854  
 STATE OF ILLINOIS  
 EXP. 05-31-2024

**A 2.2**



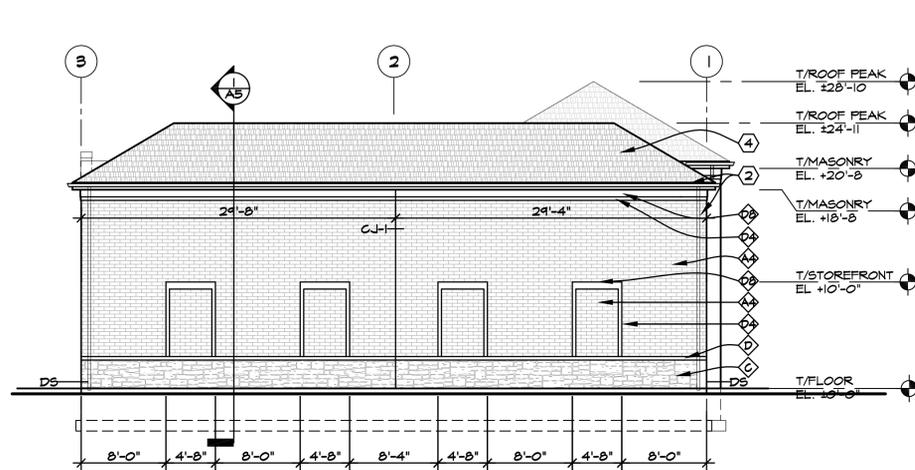
MASONRY EXTERIOR FINISH LIST/ ELEVATION KEYED NOTES

MASONRY - SEE MASONRY NOTES & WALL SECTIONS FOR ADD'L INFO, SIZES, SPECS & COLORS. NOTE: 24" LENGTHS OF ACCENT STONE NOT ALLOWED ON PIERS/PILASTERS.

- ① FIELD BRICK: 4"H. x 4"D. x 12"L. NOM.  
MANUF.: SIOUX CITY  
COLOR: BLACK WALNUT
- ② STONE VENEER WALL/BASE, RANDOM ASHLAR PATTERN:  
MANUF.: EDEN VALDERS  
FINISH: DIMENSIONAL SPLITFACE  
COLOR: DOVEWHITE  
SIZE: (HEIGHTS: 2 1/4", 5", 7 1/4", 10 1/2", 13 1/4") x (LENGTHS: 8" TO 36") x 3 5/8"D.
- ③ STONE VENEER SILL: 4"H. x 4"D. x 16L. NOM.  
MANUF.: HARVEY CEMENT - SAVANNAH STONE  
FINISH: SMOOTH  
COLOR: TBD
- ④ ACCENT STONE VENEER: 4"H. x 4"D. x 16L. NOM.  
MANUF.: HARVEY CEMENT - SAVANNAH STONE  
FINISH: SMOOTH  
COLOR: TBD
- ⑤ ACCENT STONE VENEER: 8"H. x 4"D. x 16L. NOM.  
MANUF.: HARVEY CEMENT - SAVANNAH STONE  
FINISH: SMOOTH  
COLOR: TBD

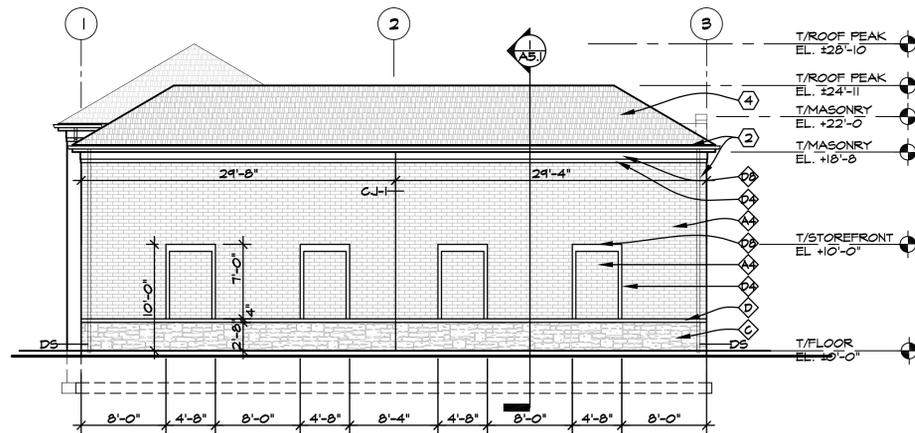
EXTERIOR FINISH LIST/ ELEVATION KEYED NOTES

- ① ALUMINUM STOREFRONT:  
MANUFACTURER: KAMNEER, EFCO, OR OLDCASTLE (VISTAMALL) -  
COLOR: MEDIUM BRONZE ANODIZED ALUMINUM  
SEALAN BY STOREFRONT CONTRACTOR. COLOR TO MATCH STOREFRONT
- ② STOREFRONT GLAZING:  
1" INSULATED GLASS W/ MAX. U-FACTOR OF 0.24 AND SHGC OF 0.38 -  
GUARDIAN SN-68 LOW-E GLASS (CLEAR), OR APPROVED EQUAL. LITES W/  
PORTIONS BELOW 2'-0" A.F.F. TO BE TEMPERED. ADDITIONAL LITES TEMPERED  
AS NOTED BY 'T'
- ③ ALUMINUM STOREFRONT DOOR:  
COLOR: MEDIUM BRONZE ANODIZED ALUMINUM
- ④ SHEET METAL COPING, GUTTER, 3x4 DOWNSPOUTS, FASCIAS:  
PETERSEN ALUMINUM, PREFINISHED KYNAR 500  
COLOR: TBD
- ⑤ EXTERIOR INSULATED HOLLOW METAL DOORS AND FRAMES:  
FACTORY PRIMED/ FIELD PAINTED TO MATCH FIELD BRICK (SEMI-GLOSS)
- ⑥ TYPICAL SHINGLE ROOF:  
GAF/TIMBERLINE NATURAL SHADOW ACCENT (NS) ASPHALT ROOF SHINGLES  
COLOR: TBD
- ⑦ WALL MOUNTED LIGHT FIXTURES/EQUIPMENT:  
SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATION AND LOCATION  
COLOR: MATCH STOREFRONT
- ⑧ DECORATIVE WINDOW:  
SURFACE MNTD MED. BRZ. 3'x5' FRAME, TEMPERED OPAQUE DARK BROWN  
GLASS
- ⑨ SIGNAGE: UNDER SEPARATE PERMIT AND INSTALLED BY SIGN CONTRACTOR.  
SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ⑩ ADDRESS NUMBERS ON FRONT WINDOWS: G.C. TO PROVIDE & INSTALL 6" TALL  
VINYL WHITE ON BLACK ADDRESS NUMBERS ON FRONT WINDOWS/ 3" TALL ON  
EAST SIDE - CENTERED OVER DOOR, BOTTOM EDGE OF NUMBER SHALL SET 4"  
ABOVE FRAME. NUMBERS BY FAST SIGN, FONT: STANDARD BOLD CONDENSED,  
FONT SIZE: 5.75", COMPRESSION: NONE, BLACK OUTLINE: 300", BLEED: .02,  
PRINTED ON GERBER EDGR II, VINYL: ORACLAS 651 WHITE, THICKNESS: 25 MIL.
- ⑪ BOLLARDS: SEE SITE & FLOOR PLAN  
4" HIGH, 6" CONG. FILLED PIPE BOLLARDS @ GAS AND ELEC. SERVICE.
- ⑫ KNOX BOX: COORDINATE STYLE AND LOCATION WITH LOCAL FIRE DEPARTMENT
- ⑬ FROST PROOF WALL HYDRANT/DOWNSPOUT NOZZLE  
SEE PLUMBING FIXTURE SCHEDULE IN PLUMBING DRAWINGS.



WEST ELEVATION

SCALE: 1/8"=1'-0"



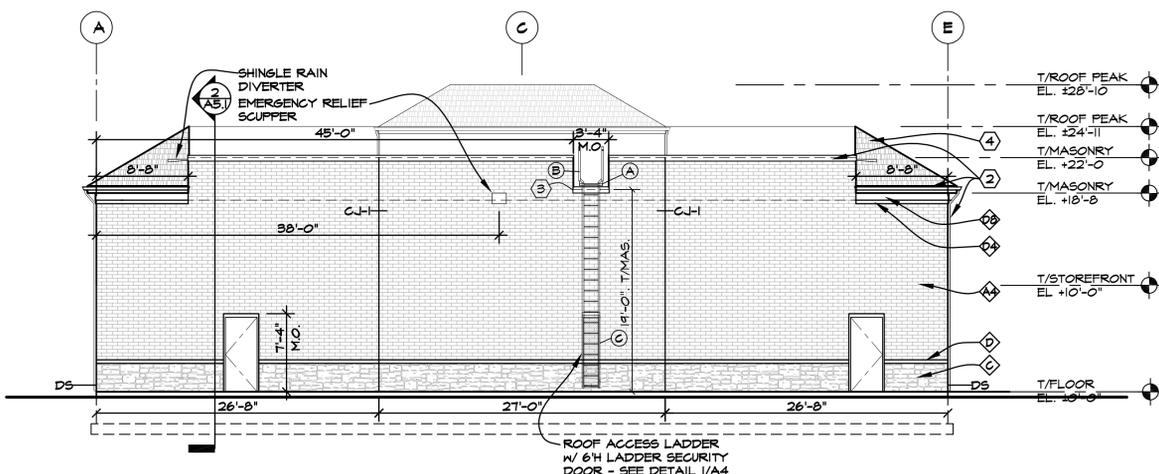
EAST ELEVATION

SCALE: 1/8"=1'-0"



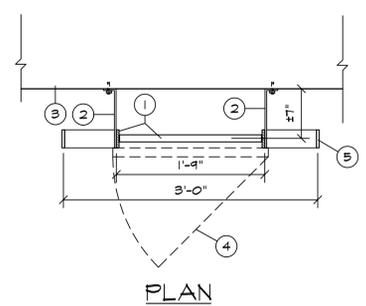
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"

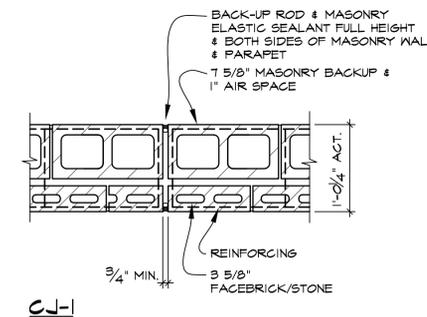


PLAN

KEYED NOTES

1. 2 1/2" x 3/8" FLAT STEEL BAR SIDE RAILS, AND 1" DIA. STEEL RUNGS FINCHED INTO RAILS @ 12" o.c. AND WELDED.
2. PROVIDE 2 1/2" x 3/8" THICK FLAT BENT STEEL BRACKETS AT MAX. 4'-0" CENTERS, WELD TO SIDE RAILS AND ANCHORED TO MASONRY W/ 1/2" x 2 3/4" WEDGE 'RED HEAD' OR 'MOLLY' ANCHOR BOLTS
3. MASONRY EXTERIOR WALL
4. 6" HIGH LOCKABLE LADDER SECURITY DOOR
5. WIDEN SIDE RAILS TO 36" o.c. @ PARAPET HEIGHT & EXTEND TO MIN. 36" ABOVE PARAPET

NOTES:  
SEE ELEVATIONS FOR MASONRY SELECTIONS / LOCATIONS  
SEALANT BY MASONRY CONTRACTOR - SELECTION FROM STANDARD COLOR PALETTE TO MATCH ADJACENT MASONRY COLOR  
PROVIDE SASH END UNITS W/PREFORMED GASKET, KRAFT PAPER & CEMENT KEY, OR HB SLIP-SET STABILIZER AT ALL CONTROL JOINTS  
DO NOT RUN HORIZONTAL REINFORCING THRU CONTROL JOINT

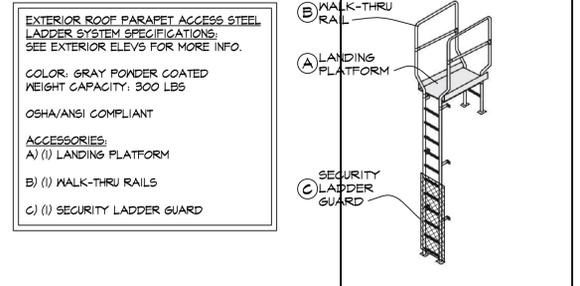


CJ-1

CJ-2 - SEE DETAIL 3/A2.1

MASONRY CONTROL JOINT DETAILS

SCALE: 1"=1'-0"



ROOF ACCESS LADDER DETAIL

SCALE: 1"=1'-0"

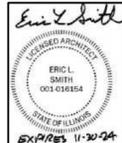
REVISIONS	
THIS DRAWING FOR REVIEW	5/18/2023
NOT FOR BIDDING	5/18/2023
NOT FOR PERMIT	
NOT FOR CONTRACTING	
NOT FOR CONSTRUCTION	

KMA & ASSOCIATES, ARCHITECTS  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847)945-6869

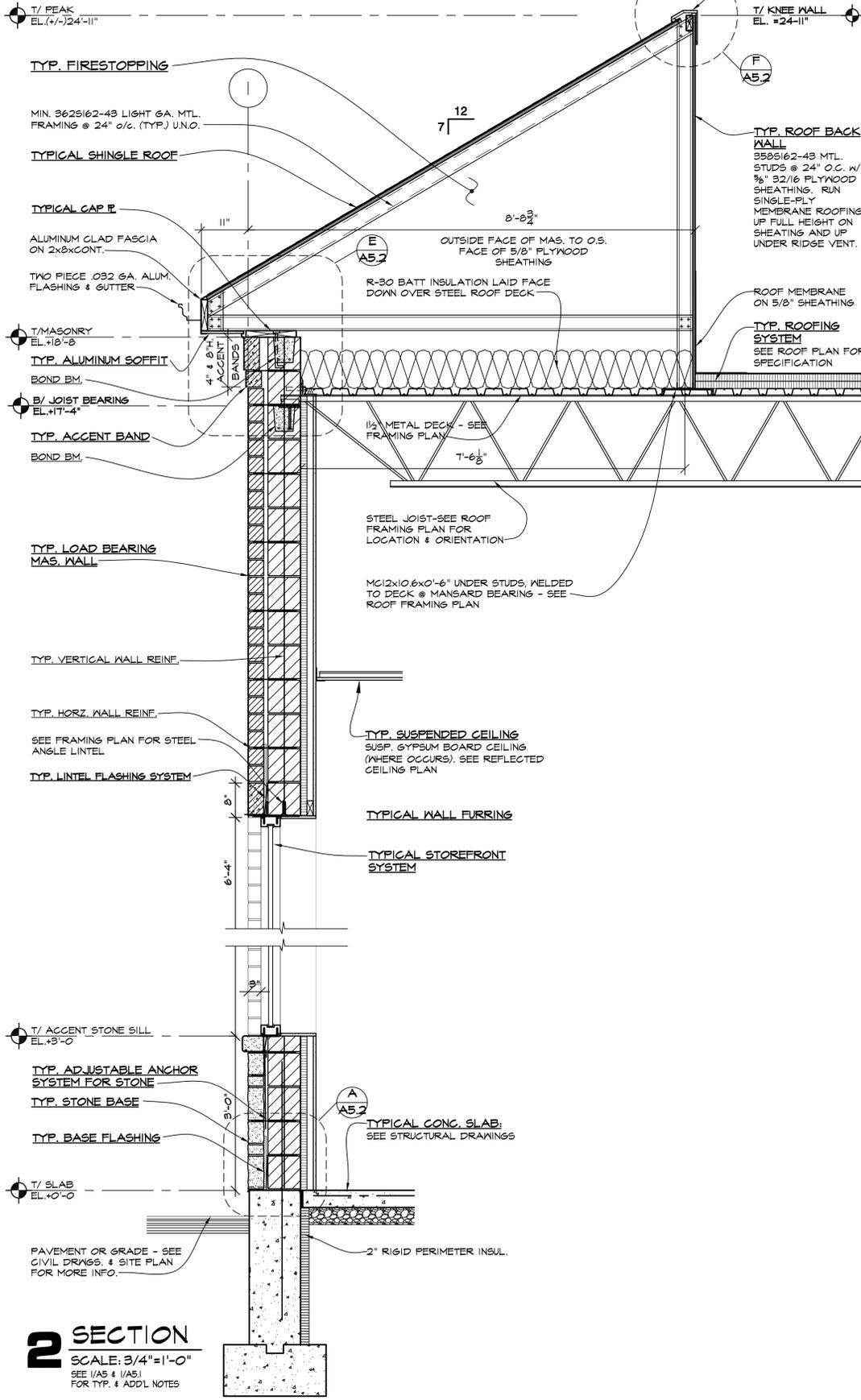
SAUNA GUARD FOR UNLIMITED MASONRY  
LARAWAY AVENUE WEST OF WOLF ROAD  
FRANKFORD, IL

SHEET TITLE  
EXTERIOR FINISH LIST  
DETAILS

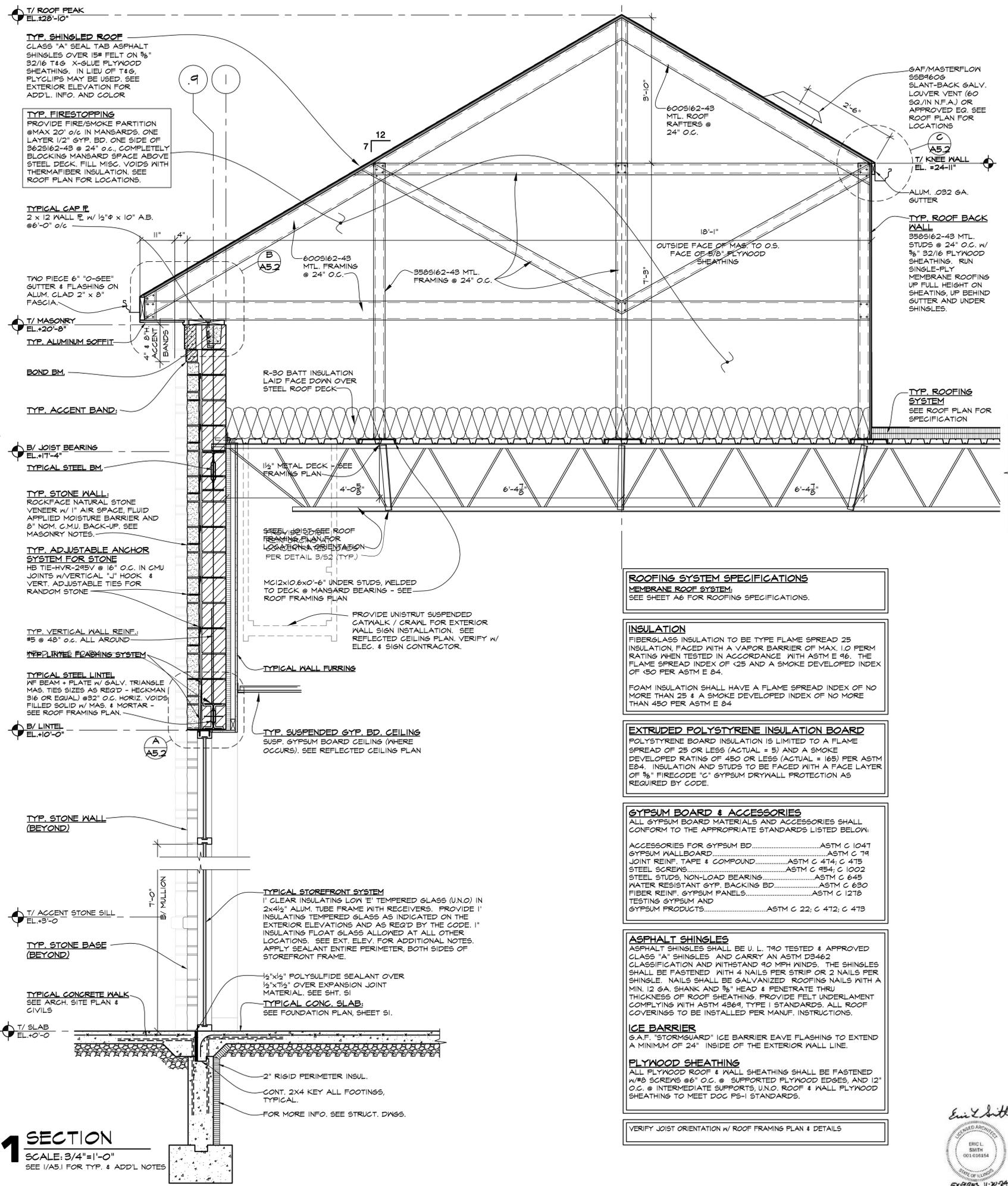
2238



A4



**2 SECTION**  
SCALE: 3/4"=1'-0"  
SEE 1/A5.1 & 1/A5.1 FOR TYP. & ADDL. NOTES



**1 SECTION**  
SCALE: 3/4"=1'-0"  
SEE 1/A5.1 FOR TYP. & ADDL. NOTES

**ROOFING SYSTEM SPECIFICATIONS**  
MEMBRANE ROOF SYSTEM:  
SEE SHEET A6 FOR ROOFING SPECIFICATIONS.

**INSULATION**  
FIBERGLASS INSULATION TO BE TYPE FLAME SPREAD 25 INSULATION, FACED WITH A VAPOR BARRIER OF MAX. 1.0 PERM RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 96. THE FLAME SPREAD INDEX OF 125 AND A SMOKE DEVELOPED INDEX OF 150 PER ASTM E 84.  
FOAM INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NO MORE THAN 25 & A SMOKE DEVELOPED INDEX OF NO MORE THAN 450 PER ASTM E 84.

**EXTRUDED POLYSTYRENE INSULATION BOARD**  
POLYSTYRENE BOARD INSULATION IS LIMITED TO A FLAME SPREAD OF 25 OR LESS (ACTUAL = 5) AND A SMOKE DEVELOPED RATING OF 450 OR LESS (ACTUAL = 165) PER ASTM E84. INSULATION AND STUDS TO BE FACED WITH A FACE LAYER OF 5/8" FIRECODE 'C' GYPSUM DRYWALL PROTECTION AS REQUIRED BY CODE.

**GYPSUM BOARD & ACCESSORIES**  
ALL GYPSUM BOARD MATERIALS AND ACCESSORIES SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED BELOW:  
ACCESSORIES FOR GYPSUM BD.....ASTM C 1047  
GYPSUM WALLBOARD.....ASTM C 714  
JOINT REIN. TAPE & COMPOUND.....ASTM C 474; C 475  
STEEL SCREWS.....ASTM C 454; C 1002  
STEEL STUDS, NON-LOAD BEARING.....ASTM C 645  
WATER RESISTANT GYP. BACKING BD.....ASTM C 628  
FIBER REIN. GYPSUM PANELS.....ASTM C 1278  
TESTING GYPSUM AND GYPSUM PRODUCTS.....ASTM C 22; C 472; C 473

**ASPHALT SHINGLES**  
ASPHALT SHINGLES SHALL BE U. L. 740 TESTED & APPROVED CLASS 'A' SHINGLES AND CARRY AN ASTM D3462 CLASSIFICATION AND WITHSTAND 40 MPH WINDS. THE SHINGLES SHALL BE FASTENED WITH 4 NAILS PER STRIP OR 2 NAILS PER SHINGLE. NAILS SHALL BE GALVANIZED ROOFING NAILS WITH A MIN. 12 GA. SHANK AND 3/8" HEAD & PENETRATE THRU THICKNESS OF ROOF SHEATHING. PROVIDE FELT UNDERLAMENT COMPLYING WITH ASTM 4364, TYPE 1 STANDARDS. ALL ROOF COVERINGS TO BE INSTALLED PER MANUF. INSTRUCTIONS.

**ICE BARRIER**  
G.A.F. "STORMGUARD" ICE BARRIER EAVE FLASHING TO EXTEND A MINIMUM OF 24" INSIDE OF THE EXTERIOR WALL LINE.

**PLYWOOD SHEATHING**  
ALL PLYWOOD ROOF & WALL SHEATHING SHALL BE FASTENED W/ #8 SCREWS @ 6" O.C. @ SUPPORTED PLYWOOD EDGES, AND 12" O.C. @ INTERMEDIATE SUPPORTS, U.N.O. ROOF & WALL PLYWOOD SHEATHING TO MEET DOC PS-1 STANDARDS.

VERIFY JOIST ORIENTATION W/ ROOF FRAMING PLAN & DETAILS

REVISIONS	
FOR REVIEW	5/19/2023
NOT FOR BIDDING	5/19/2023
NOT FOR PERMIT	5/19/2023
NOT FOR CONTRACTING	5/19/2023
NOT FOR CONSTRUCTION	5/19/2023

**KMA & ASSOCIATES, ARCHITECTS**  
2205 LAKESIDE DRIVE  
BANNOCKBURN, ILLINOIS 60015  
(847)945-6869

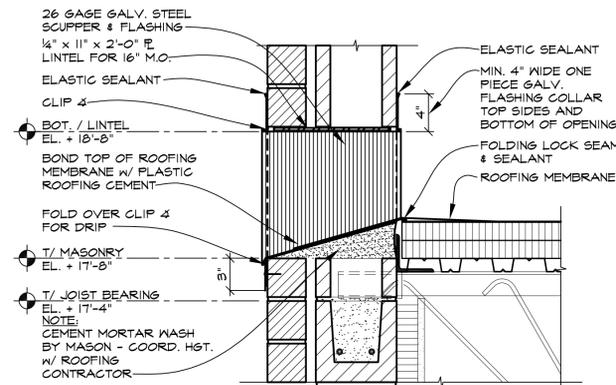
**SAUNA GUARD FOR UNLIMITED MASONRY**  
LARAWAY AVENUE WEST OF WOLF ROAD  
FRANKFORD, IL

**SHEET TITLE**  
WALL SECTIONS  
**2238**

**A5**

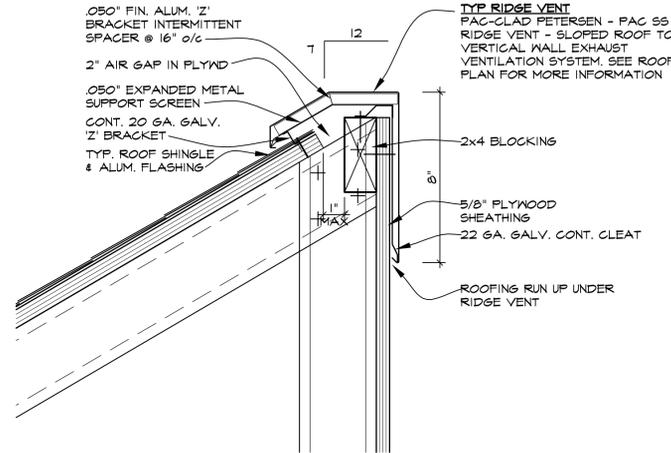






**ROOF SCUPPER**

SCALE: 1 1/2" = 1'-0"

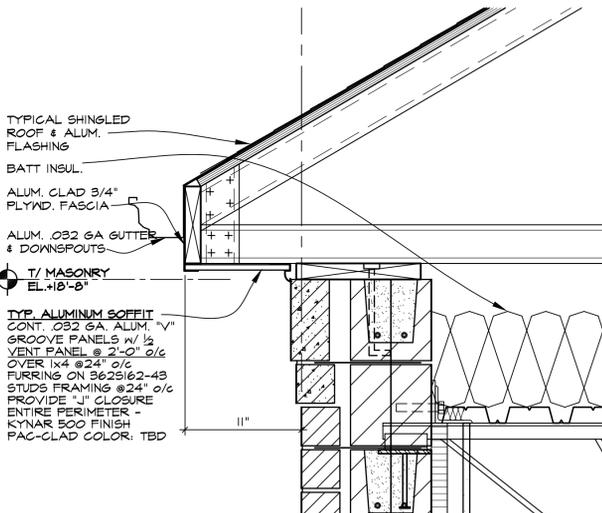


**SECTION G**

SCALE: 1-1/2"=1'-0"

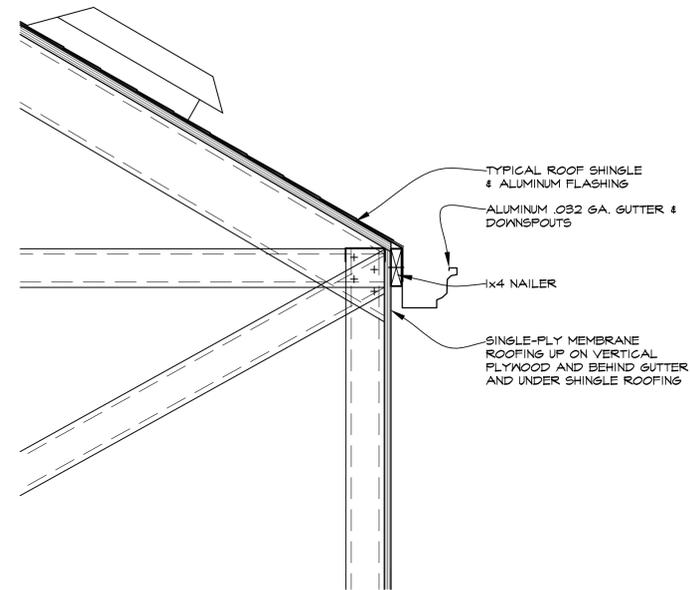
**SECTION F**

SCALE: 3"=1'-0"



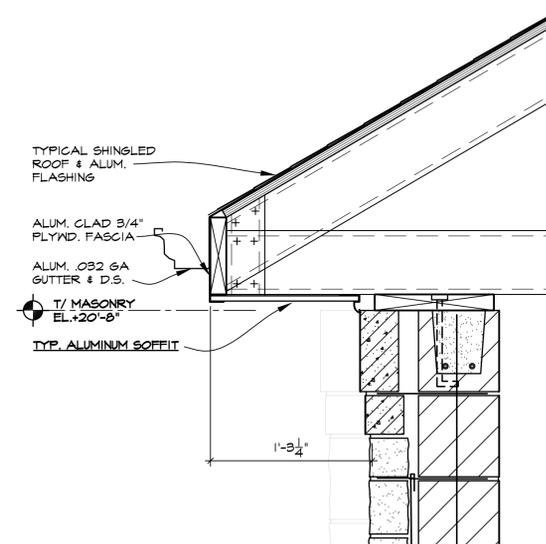
**SECTION E**

SCALE: 1-1/2"=1'-0"



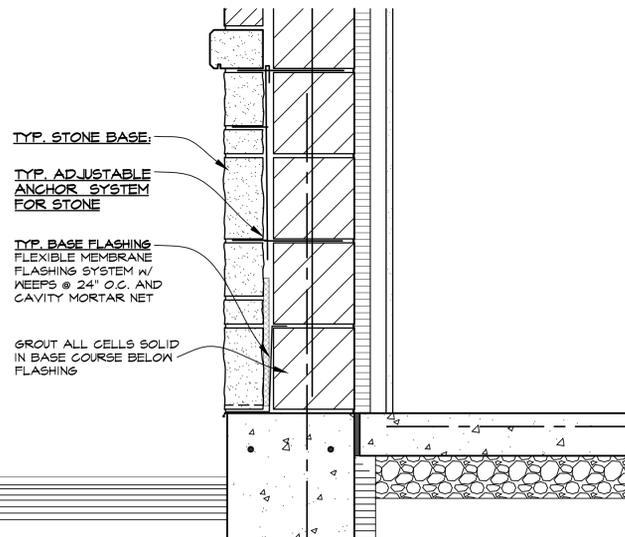
**SECTION C**

SCALE: 1-1/2"=1'-0"



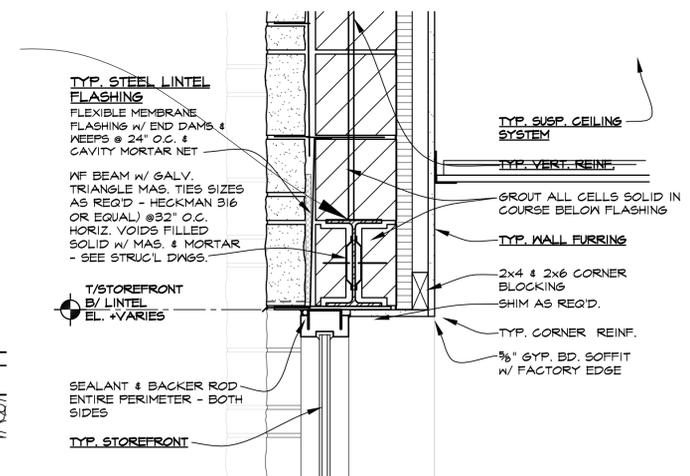
**SECTION B**

SCALE: 1-1/2"=1'-0"



**SECTION D**

SCALE: 1-1/2"=1'-0"



**SECTION A**

SCALE: 1-1/2"=1'-0"

REVISIONS	
THIS DRAWING FOR REVIEW	5/19/2023
NOT FOR BIDDING	5/19/2023
NOT FOR PERMIT	
NOT FOR CONTRACTING	
NOT FOR CONSTRUCTION	

KMA & ASSOCIATES, ARCHITECTS  
 2205 LAKESIDE DRIVE  
 BANNOCKBURN, ILLINOIS 60015  
 (847)945-6869

SAUNA GUARD FOR UNLIMITED MASONRY  
 LARAWAY AVENUE WEST OF WOLF ROAD  
 FRANKFORT, IL

SHEET TITLE  
 WALL SECTION DETAILS

2238



**A**  
**5.2**

ROOM FINISH SCHEDULE										
MARK	AREA	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	MAT'L	HT.	
100	RECEPTION	11	21	30	30	30	30	40	-	1, 2
101	I.V.	11	21	30	30	30	30	40	-	1, 2
102	I.V.	11	21	30	30	30	30	40	-	1, 2
103	NURSE	11	21	30	30	30	30	40	-	1, 2
104	NURSE	11	21	30	30	30	30	40	-	1, 2
105	CRYOTHERAPY	11	21	30	30	30	30	40	-	1, 2
106	CRYOTHERAPY	11	21	30	30	30	30	40	-	1, 2
107	TOILET	11	21	31	31	31	31	41	-	1, 2
108	HALL	11	21	30	30	30	30	40	-	1, 2
109	HALL	11	21	30	30	30	30	40	-	1, 2
110	HALL	11	21	30	30	30	30	40	-	1, 2
111	MASSAGE	11	21	30	30	30	30	40	-	1, 2
112	SAUNA	11	21	31	31	31	31	40	-	1, 2, 3
113	SAUNA	11	21	31	31	31	31	40	-	1, 2, 3
114	MASSAGE	11	21	30	30	30	30	40	-	1, 2
115	MASSAGE	11	21	30	30	30	30	40	-	1, 2
116	WOMEN'S LOCKER	11	21	30	30	30	30	41	-	1, 2
117	STEAM	12	22	32	32	32	32	43	-	1, 2
118	SHOWER	11	21	31	31	31	31	41	-	1, 2
119	TOILET	11	21	31	31	31	31	41	-	1, 2
120	MEN'S LOCKER	11	21	30	30	30	30	41	-	1, 2
121	STEAM	12	22	32	32	32	32	43	-	1, 2
122	SHOWER	11	21	31	31	31	31	41	-	1, 2
123	TOILET	11	21	31	31	31	31	41	-	1, 2
124	UTILITY	11	21	30	30	30	30	42	-	1, 2
125	UTILITY	11	21	30	30	30	30	42	-	1, 2

**ROOM FINISH KEY**

<b>FLOOR</b>	<b>CEILING</b>
10 CLEAR CONCRETE SEALER, SONNEBORN "LAPIDOLITH" NEW CONCRETE SLAB SHALL BE LEVEL AND SMOOTH	40 GYPSUM BOARD CEILING
11 TILE - TO BE SELECTED BY OWNER	41 MOISTURE RESISTANT (M.R.) GYPSUM BOARD CEILING
12 PORCELAIN TILE - TO BE SELECTED BY OWNER	42 SUSPENDED ACOUSTICAL TILE
<b>BASE</b>	43 PORCELAIN TILE - TO BE SELECTED BY OWNER
20 NONE	44 EXPOSED TO STRUCTURE
21 TILE - TO BE SELECTED BY OWNER	<b>REMARKS</b>
22 PORCELAIN TILE - TO BE SELECTED BY OWNER	1. SEE DRAWING A3 FOR CEILING LAYOUT & SPECIFICATIONS
23 4" VINYL COVE BASE - TO BE SELECTD BY OWNER	2. ALL SURFACES TO BE LEFT READY FOR TENANT FINISHES
<b>WALLS</b>	3. SEE WALL/CEILING DETAILS FOR SAUNA UNITS
30 GYP. BD. CAULKED, TAPED, MUDDED AND SANDED SMOOTH AND READY FOR OWNER'S FINISHES	4. PROVIDE MIN. 1/2" THICK DENS-SHIELD BACKER BOARD IN LIEU OF GYPSUM BOARD BEHIND ALL WALL TILE. (ALTERNATES: GEMENT BOARD OR KERDI BOARD w/ SCHLUETER-KERDI WATERPROOFING MEMBRANE). ALTERNATES REQUIRE ARCHITECT'S APPROVAL.
31 TILE - TO BE SELECTED BY OWNER	5. PROVIDE MOISTURE RESISTANT (M.R.) GYPSUM BOARD @ WALLS AND CEILINGS IN TOILETS, LOCKERS, SHOWERS, EXCEPT BEHIND WALL TILE.
32 PORCELAIN TILE - TO BE SELECTED BY OWNER	6. PROVIDE NEW CONTINUOUS SEALANT AROUND INTERIOR AND EXTERIOR OF STOREFRONT / WINDOW SYSTEM.
	7. PROVIDE SEALANT WHERE STOREFRONT / WINDOW SYSTEM MEET GYPSUM BOARD.

**HARDWARE GROUPS**

**NOTES:**  
 1. ALL HARDWARE TO HAVE US26D SATIN CHROMIUM FINISH UNLESS NOTED OTHERWISE. STOREFRONT DOOR HARDWARE TO MATCH STOREFRONT FINISH. ALL LATCHSETS, LOCKSETS & CYLINDERS BY SCHLAGE "A" SERIES AND/OR PAIRED WITH "B" SERIES DEADBOLTS U.N.O. ALL FUNCTIONS / DEVICES MUST MEET A.D.A. REQUIREMENTS (THUMBURNS NOT ALLOWED). ALL HDWE USED FOR NORMAL OPERATION TO BE MOUNTED A MIN. OF 34" AND A MAX. OF 48" ABOVE THE FINISH FLOOR.

A. EA. LEAF  
 1 PR. 4 1/2" X 4 B.B. BUTTS  
 ADA LEVER  
 WEATHERSTRIP/SWEEP  
 THRESHOLD  
 PUSH-PULL  
 CLOSER  
 ACTIVE LEAF  
 SCHLAGE 20-062X0626D "E"  
 W/ REMOVABLE CORE  
 INACTIVE LEAF  
 T&B FLUSH BOLTS

B. 1/2 PAIR B.B. BUTTS W/  
 NON-REMOVABLE HINGE PINS  
 MORTISE  
 LOCKSET-L9453P-06A-F20  
 FUNCTION  
 CLOSER  
 DOOR SWEEP  
 DOOR VIEWER  
 THRESHOLD  
 WEATHERSTRIPPING  
 RAIN DRIP GUARD  
 DOORBELL

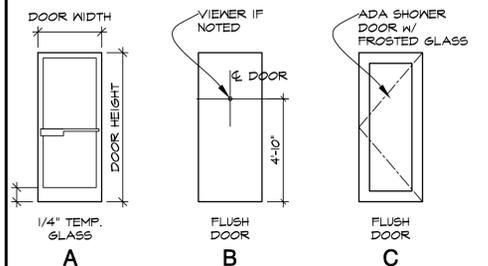
C. 1/2 PR. BUTTS  
 LOCKSET F84-2 FUNCT.  
 CLOSER  
 WALL BUMPER

D. 1/2 PR. BUTTS  
 LOCKSET F76-2 FUNCT.  
 WALL BUMPER

E. 1/2 PR. BUTTS  
 PASSAGE SET F75-2 FUNCT.  
 CLOSER  
 WALL BUMPER

F. HARDWARE - GLASS  
 SHOWER DOOR  
 CLOSER

**DOOR TYPES**



**DOOR SCHEDULE**

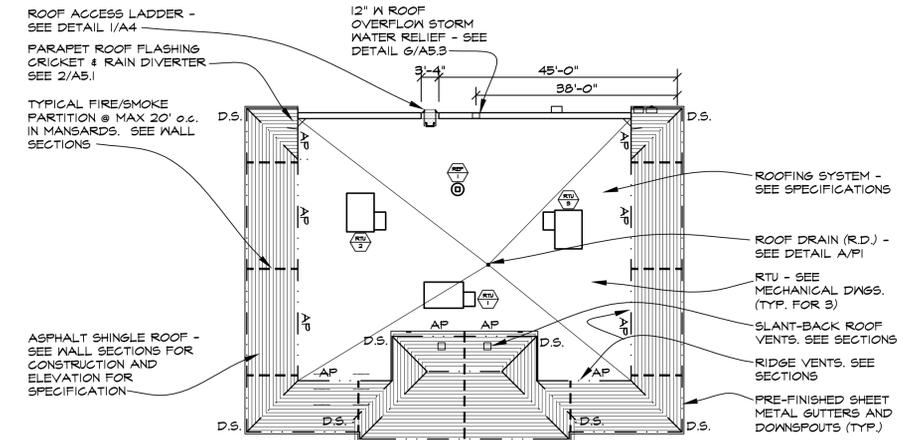
MARK	DOOR SIZE	DOOR			FRAME		DETAIL	HDWE	REMARKS
		TYPE	MAT'L	FINISH	MAT'L	FINISH			
1	PR 3'-0" X 7'-0" X 1 3/4"	A	AL/GL	CLR. ANOD	ALUM	CLR. ANOD	-	A	1 3 4 5 6 7 9
2	3'-0" X 7'-0" X 1 3/4"	B	INS. H.M.	PAINT	H.M.	PAINT	-	B	3 4 6 7
3	3'-0" X 7'-0" X 1 3/4"	B	S.C.WD.	PAINT	H.M.	PAINT	-	C	3 5 7
4	3'-0" X 7'-0" X 1 3/4"	B	S.C.WD.	PAINT	H.M.	PAINT	-	D	2 3 5 7
5	3'-0" X 7'-0" X 1 3/4"	B	S.C.WD.	PAINT	H.M.	PAINT	-	C	3 5 7
6	3'-0" X 7'-0" X 1 3/4"	B	INS. H.M.	PAINT	H.M.	PAINT	-	E	3 5 7
7	3'-0" X 7'-0"	C	ALUM/GL	FROSTED	ALUM	ALUM	-	F	3 4 5 7

**DOOR NOTES**

- NO. ITEM**
- ALL HARDWARE BY DOOR MFR. (CYLINDER BY HDWE CONTRACTOR; CYLINDER FINISH TO MATCH DOOR HDWE FINISH).
  - UNDERCUT DOOR 1"
  - HARDWARE SHALL BE OF TYPE APPROVED FOR HANDICAP USE
  - THRESHOLD MAXIMUM 1/2" HIGH WITH MAXIMUM 1:2 SLOPED EDGE
  - CLOSERS TO HAVE MAXIMUM 5 LBS. PUSH-PULL H.M.
  - FRAME WITH 2" JAMB FACE & 4" HEAD FACE
  - PROVIDE DOOR SILENCERS
  - PROVIDE STANDARD PUSH-PULL
  - HARDWARE TO MATCH STOREFRONT FINISH
  - MANUFACTURER'S STANDARD HARDWARE

**ROOFING SYSTEM SPECIFICATIONS:**

- BASE BID - TYP. EPDM ROOF SYSTEM:**  
 FULLY-ADHERED MIN. 45 MIL BLACK EPDM ROOFING MEMBRANE OVER POLYISOCYANURATE INSULATION.
- ALTERNATE BID - TYP. TPO SINGLE PLY ROOFING SYSTEM:** MIN. 45 MIL WHITE TPO THERMOPLASTIC POLYOLEFIN SINGLE-PLY ROOFING MEMBRANE (MEETING ASTM STANDARDS D3747, D2178, D312, D3909 FOR MATERIAL USED), OVER POLYISOCYANURATE INSULATION.
- PROVIDE MINIMUM 2 LAYERS OF POLYISOCYANURATE INSULATION MECHANICALLY FASTENED TO 1/2" METAL ROOF DECK. INSULATION R-VALUE 30 MIN. (SINGLE LAYER WILL NOT ACHIEVE REQUIRED R-VALUE & THICKNESS). TOTAL ROOF SYSTEM SHALL HAVE 90 MPH WIND RESISTANCE. PHYSICAL INTEGRITY AND IMPACT RESISTANCE IN ACCORDANCE WITH ASTM G53, D3746 AND D4272. ALL ROOF COMPONENTS TO BE INSTALLED PER MANUF. INSTRUCTIONS. ROOF COVERING MIN. CLASS "C" CONSTRUCTION: (WHEN TESTED IN ACCORDANCE WITH UL 790 & 1256.)
- ATTN ROOFERS:**  
 -YOU ARE REQUIRED TO PROVIDE A TWENTY (20) YEAR (NDL-NO DOLLAR LIMIT) LABOR WORKMANSHIP AND MATERIAL WARRANTY FROM THE MEMBRANE MANUFACTURER FROM THE DATE OF FINAL COMPLETION.  
 -YOU SHALL ALSO PROVIDE A MINIMUM 2 YEAR WORKMANSHIP WARRANTY.  
 -THE MATERIALS MUST BE INSTALLED PER THE MEMBRANE MANUFACTURER'S GUIDELINES AND PER MINIMUM INDUSTRY STANDARDS SUCH AS NRCA (NATIONAL ROOFING CONTRACTORS ASSOCIATION) GUIDELINES AND DETAILS.  
 -LASTLY, A MOISTURE SURVEY MUST BE CONDUCTED TO ENSURE ANY EXISTING ROOF SYSTEM IS DRY AND ANY NOTED MET INSULATION IS REMOVED BEFORE ANY NEW ROOFING SYSTEM IS INSTALLED.
- PROVIDE ROOFING SYSTEM BY THE FOLLOWING APPROVED MANUFACTURERS OR APPROVED EQUAL:  
 - FIRESTONE BUILDING PRODUCTS (800)428-4442  
 - CARLISLE, INC. (717)245-7000  
 - JOHNS MANVILLE (800)654-3103



**ACCESS PANELS (AP)**  
 22x36 ROOF ACCESS PANELS (DESIGNATED AP) TO MANSARD, MOUNTED 24" ABOVE ROOF DECK. WILLIAMS BROS. #NB-EXT-1300. LOCKS MUST BE MASTERKEYED BY G.C. TO ALLOW FIRE DEPT ACCESS. PROVIDE (1) ACCESS PANEL PER SMOKE BARRIER COMPARTMENT.

**ROOF PLAN**  
 SCALE: 1/16"=1'-0"

REVISIONS			
THIS DRAWING	5/19/2023		
FOR REVIEW	5/19/2023		
FOR BIDDING	5/19/2023		
FOR PERMIT	5/19/2023		
FOR CONTRACTING			
FOR CONSTRUCTION			

KMA & ASSOCIATES, ARCHITECTS  
 2205 LAKESIDE DRIVE  
 BANNOCKBURN, ILLINOIS 60015  
 (847)945-6869

SAUNA GUARD FOR  
 UNLIMITED MASONRY  
 LARAWAY AVENUE WEST OF WOLF ROAD  
 FRANKFORT, IL

**SHEET TITLE**  
 DOOR SCHEDULE  
 ROOM FINISH SCHEDULE  
 ROOF PLAN & DETAILS

**2238**

